



Application for Development Permit

Land Use Bylaw No. 60-2014

Foothills County

www.foothillscountyab.ca

309 Macleod Trail, Box 5605, High River, AB T1V 1M7 • Tel: 403-652-2341 Fax: 403-652-7880

THIS IS NOT A BUILDING PERMIT. Construction practices and standards of construction of any building or any structure authorized by this Development Permit must be in accordance with the Building Bylaw. An application must be made for a Building Permit under the requirements of the Building Bylaw and a Permit must be secured before any work or construction on any building may commence or proceed.

FOR OFFICE USE ONLY

Fee Submitted: 500.00 Application No: 26D117
 Receipt No.: 456985 Tax Roll No: 2102312620
 Date Received: _____ Date Deemed Complete: April 13, 2026

PART 1 APPLICANT/AGENT INFORMATION

Applicant's Name: Christina L'Amarca
 Email: _____
 Applicant's Mailing Address: _____
 Telephone: _____
 Legal Land Description: Plan 2511687, Block 6, Lot 2, LSD _____,
 Quarter SW, Section 31, Township 21, Range 2, West of the 5 Meridian.
 Registered Owner of Land: Jeff + Teresa Klotz
 Registered Owner Mailing Address: _____
 Email: _____ Telephone: _____
 Interest of Applicant if not owner of site: buyer

PART 2 PROPOSED DEVELOPMENT

I/We hereby make application in accordance with the plans and supporting information submitted herewith. (which forms part of this application). Please give a brief description of the proposed development, including name of development where applicable.

The proposed development is for a primary dwelling (1080Ft²) manufactured home, a secondary dwelling (850Ft²) manufactured home & a 30x40 garage. A septic mound, gas, electric and internet will also be required. Osprey did engineered reports for developable areas, stating best locations for building. Screw piles will be used as foundations. All development will be outside of ERE designated areas.

PART 3 SITE INFORMATION

Area Of Lot: (In Acres Or Hectares) 14.25 Acres
 Size Of Proposed Building: 1080 sqft Height: 20'
 Is There A Dwelling (Residence) On The Site: Yes _____ No X If Yes, How Many? _____
 Utilities Presently On Site: none
 Are There Sour Gas Or High Pressure Facilities On Site? no
 Utilities Proposed: gas, electric, internet
 Other Land Involved In Application: none

DISCLAIMER: Please note that the personal information collected on this form is authorized under the Municipal Government Act and is required for the purpose of the County's Planning and Development processes. This information may also be shared with appropriate government agencies and may also be kept on file by those agencies. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection and use of this information, please contact the FOIP Coordinator at 403-652-2341.

PART 4 DEVELOPMENT

Specify other supporting material attached that forms part of this application. (e.g., Site Plan, Plot Plan, Architectural Drawings, etc.):

Please see attached site plan, architectural drawings and engineer report.

Estimated Date of Commencement: May 10, 2026 Estimated Date of Completion: July 10, 2026
 I, Christina L'Amara

hereby certify that I am:

- ☐ The Registered Owner; or
☒ Authorized to act on behalf of the Registered Owner

Date: March 4, 2026

RIGHT OF ENTRY

I, being the owner or person in possession of the above described land and any building thereon, hereby consent to an authorized person designated by Foothills County to enter upon the land for the purpose of inspection during the processing of this application.

Mar 4, 2026

Date

Signature of Owner or Authorized Agent

FOR OFFICE USE ONLY

1. Land use district: _____
2. Listed as a permitted/discretionary use: _____
3. Meets setbacks: _____ Yes _____ No If "NO", deficient in _____

4. Other information: _____

PART 5 DECISION

Date of Decision: _____ Date Application Accepted: _____

This Development Permit Application is:

- ☐ APPROVED
- ☐ APPROVED subject to the attached conditions
- ☐ REFUSED for the attached reasons

Notice of Decision Advertised: _____

Date of Issuance of Development Permit: _____

 Development Officer

NOTE: Development must commence within 12 months of the date of the Date of Issuance of the Permit and be completed within 24 months of the Date of Issuance, unless otherwise stated in the Development Officer's decision.



CABIN 03
ADDRESS,
ALBERTA

LAYOUT PAGE TABLE	
LABEL	TITLE
A-1	PROJECT SUMMARY
A-2	ELEVATIONS
A-3	MAIN FLOOR & ROOF PLAN
A-4	FOUNDATION PLAN & WALL SECTION

CONTACT:
KM DESIGNS
(204) 823-2296
(204) 823-3072
CUSTOMER:
ERWIN BETCHER
+1 (780) 228-5932

KM DESIGNS

CONTRACTOR:

BETCHERS
CONSTRUCTION LTD.

OWNER:

ERWIN BETCHER

DATE:

2026-03-31

DRAWN BY:

E.M.

SHEET:

A-1



KM DESIGNS

CONTRACTOR:

BETCHERS
CONSTRUCTION LTD.

OWNER:

ERWIN BETCHER

DATE:

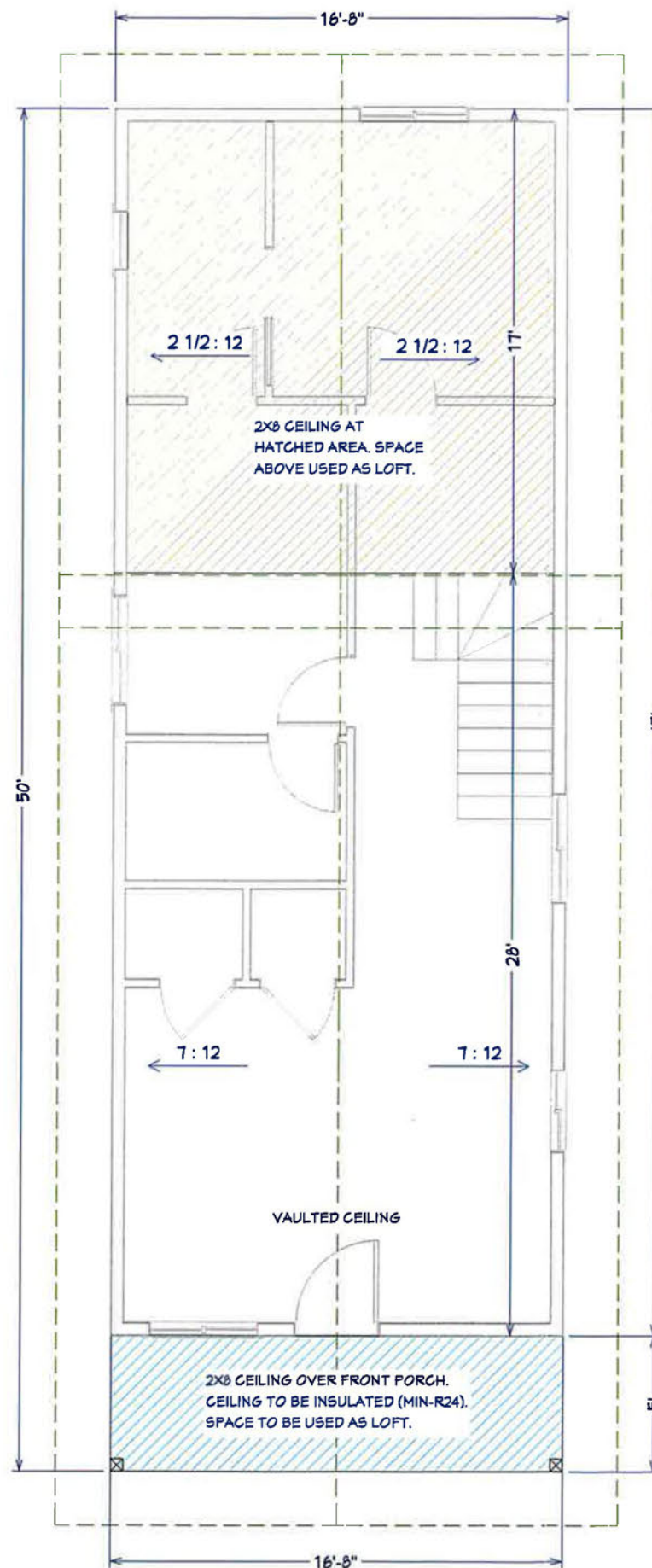
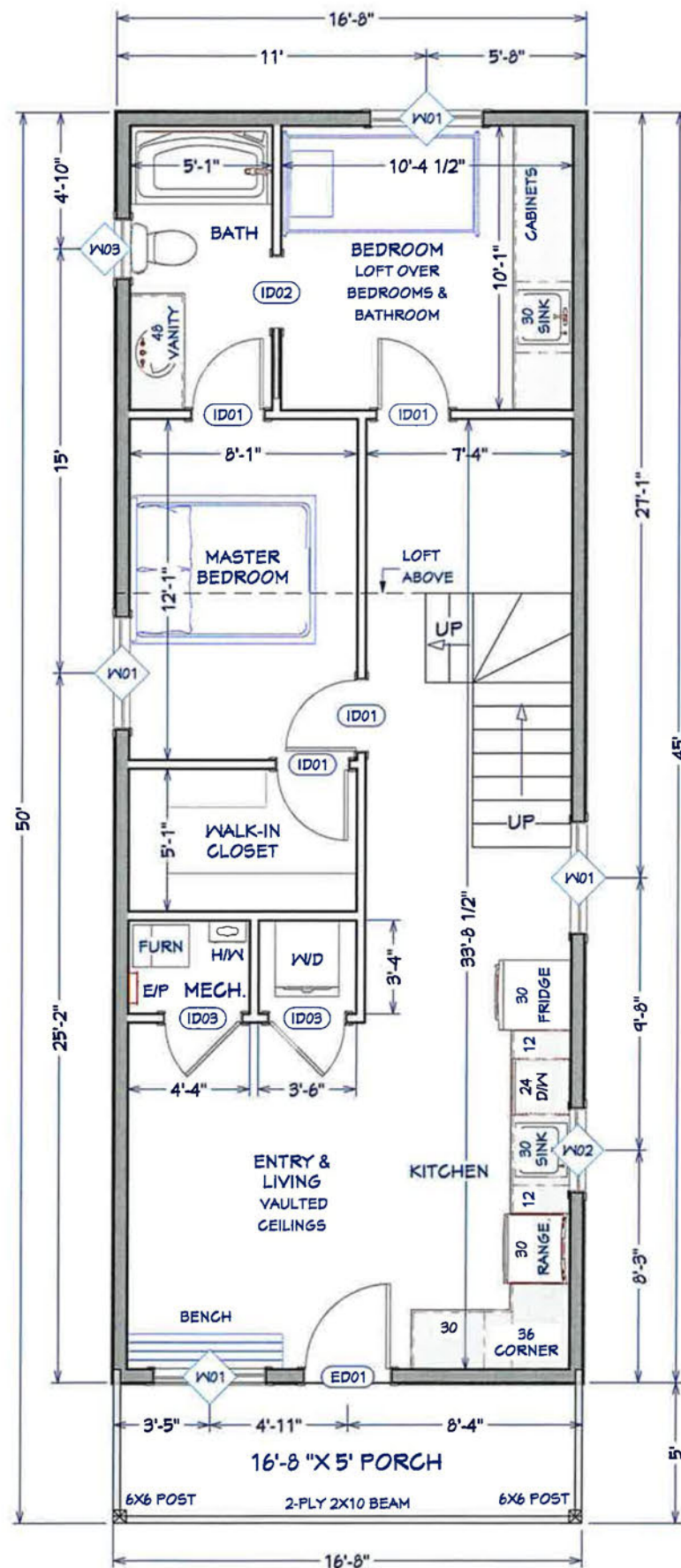
2026-03-31

DRAWN BY:

E.M.

SHEET:

A-2



GENERAL NOTES:

1. DO NOT SCALE DRAWING.
2. ALL DIMENSIONS ARE TO FACE OF STUD, RIGID INSULATION, CONCRETE AS SHOWN.
3. ALL LINTELS TO BE 2 PLY 2X10 UNLESS OTHERWISE NOTED.
4. FOR DETAILED ENGINEERING OR CONCRETE INFORMATION, THE OWNER/GENERAL CONTRACTOR IS TO CONSULT A LOCAL ENGINEERING FIRM.
5. ENSURE SUFFICIENT ATTIC/ROOF VENTILATION.
6. ENSURE SUFFICIENT AIR EXCHANGE IN RESIDENCE'S HEATING/AC SYSTEMS.
7. ALL FLOORS TO HAVE SMOKE & CARBON MONOXIDE DETECTORS INSTALLED.
8. ALL LIGHTING & FINISHES OF RESIDENCE TO BE SPECIFIED BY OWNER.
9. DRAFTSPERSON/DISIGNER WILL TAKE NO RESPONSIBILITY FOR ERRORS, DEVIATIONS OR OMISSIONS THAT MAY OCCUR. DRAFTSPERSON/DISIGNER HAS NOT BEEN RETAINED FOR ANY ON-SITE INSPECTIONS.
10. IT REMAINS OWNER/ GENERAL CONTRACTOR'S RESPONSIBILITY TO VERIFY DIMENSIONS, ROUGH OPENINGS AND LEVELS PRIOR TO COMMENCING WORK.
11. ANY ERRORS OR DISCREPANCIES TO BE REPORTED TO DRAFTSPERSON/DISIGNER.
12. GENERAL CONTRACTOR AND ANY SUB TRADES TO COMPLY WITH ALL BUILDING MATERIAL & CONSTRUCTION PRACTICES, TO ALL APPLICABLE FEDERAL, PROVINCIAL, OR MUNICIPAL BUILDING CODES AND BY-LAWS AS THEY MAY APPLY.
13. THE OWNER HAS PURCHASED THE RIGHT TO ONLY BUILD ONE STRUCTURE FROM THIS SET OF BLUEPRINTS. THESE PRINT SHALL NOT BE DUPLICATED OR REPRODUCED.
14. THESE DRAWINGS ARE NOT CERTIFIED OR ENGINEER APPROVED. THEY ARE NOT INTENDED TO BE USED AS CONSTRUCTION DRAWINGS UNLESS DULY APPROVED BY APPROPRIATE LOCAL AUTHORITIES.

WINDOW SIZE NOTE:

ALL WINDOW SIZES ARE SUGGESTED ONLY. PLEASE REFER TO WINDOW SUPPLIER SPECS FOR ADDITIONAL DETAILED INFORMATION & SPECIFIC R/O SIZES. FOR OPENINGS OVER 8' WIDE IN LOAD BEARING WALL, LVL LINTEL IS REQUIRED. DOUBLE CRIPPLE IS REQUIRED WHERE LVL LINTELS ARE SPECIFIED.

DIMENSION/ ELEVATION NOTE:

ALL EXTERIOR WALL HEIGHT DIMENSIONS AND ELEVATION HEIGHTS ARE SUGGESTED ONLY. IT IS THE RESPONSIBILITY OF THE OWNER/ GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION TO ENSURE ACCURACY

INTERIOR DOOR SCHEDULE

LABEL	SIZE	R/O	QTY	DESCRIPTION
ID01	30X80	32"X82 1/2"	4	HINGED-DOOR P04
ID02	30X80	62"X82 1/2"	1	POCKET-DOOR P04
ID03	32X80	34"X82 1/2"	2	HINGED-DOOR P04

EXTERIOR DOOR SCHEDULE

LABEL	SIZE	R/O	QTY	DESCRIPTION
ED01	36X80	38"X83"	1	ENTRANCE DOOR

WINDOW SCHEDULE

LABEL	SIZE	R/O	QTY	DESCRIPTION
W01	48X42 SL	49"X43"	4	RIGHT SLIDING
W02	36X36 SL	37"X37"	1	RIGHT SLIDING
W03	25 5/8 X 42 L	26 5/8"X43"	1	FROSTED CASEMENT

MAIN FLOOR & ROOF PLAN

SCALE: 5/32"=1'-0"

LIVING AREA: 750 SQ. FT.

LOFT AREA: 261 SQ. FT.

KM DESIGNS

CONTRACTOR:

BETCHERS
CONSTRUCTION LTD.

OWNER:

ERWIN BETCHER

DATE:

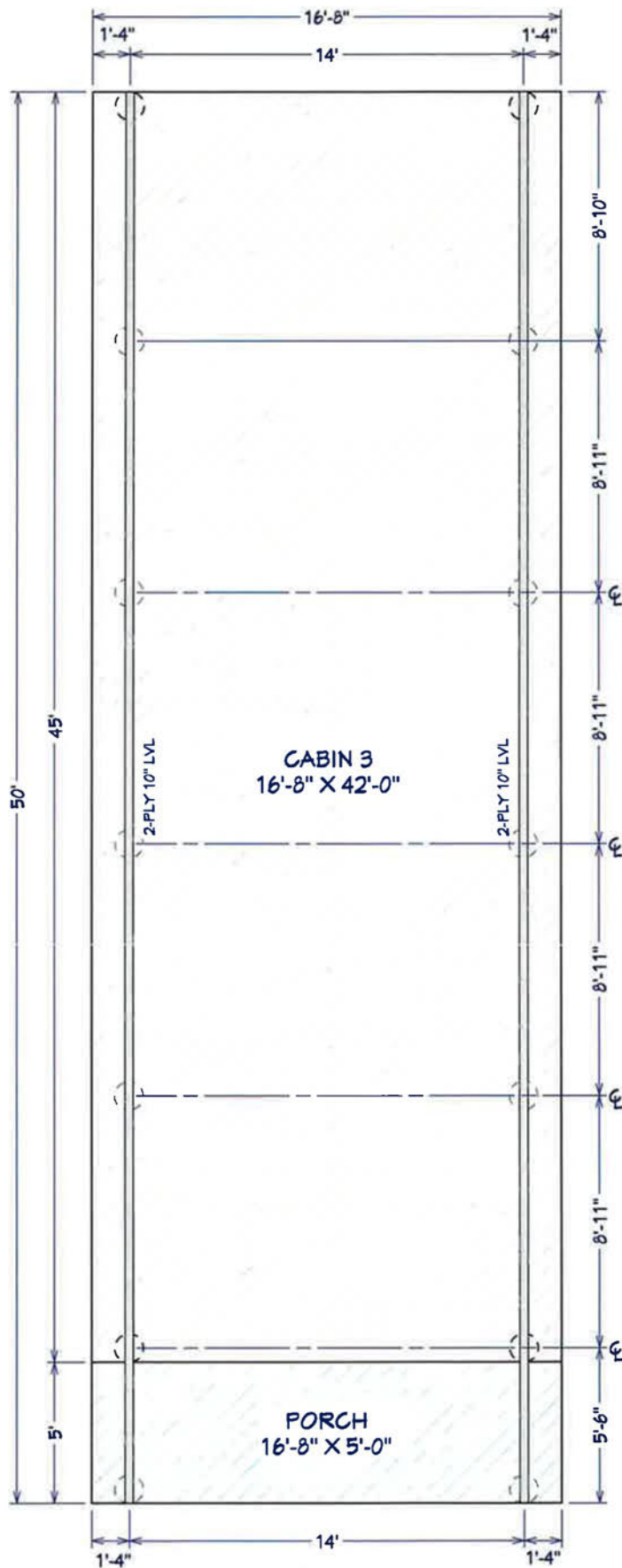
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E.M.

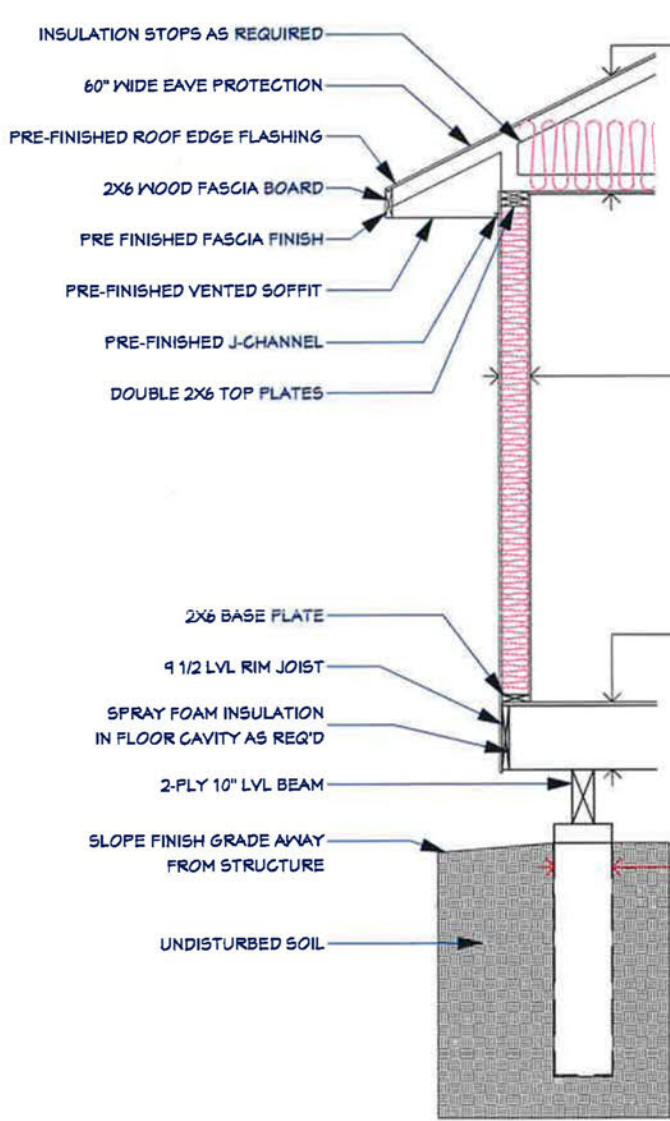
SHEET:

A-3



4 1/2" X 12'-0" SCREW PILES
TORQUE SPECS AS PER ENGINEER

FOUNDATION PLAN
SCALE: 5/32"=1'-0"



ENGINEERING NOTE:
ANY ENGINEERED DRAWINGS (IF REQ'D) SHALL TAKE
PRECEDENCE OVER THESE BLUEPRINTS.

WINDOW SIZE NOTE:
ALL WINDOW SIZES ARE SUGGESTED ONLY. PLEASE REFER TO
WINDOW SUPPLIER SPECS FOR ADDITIONAL DETAILED
INFORMATION & SPECIFIC R/O SIZES.

TYPICAL ROOF
STB. SELF SEALING FIBERGLASS SHINGLES
7/16" PLYWOOD ROOF DECKING (OR EQUAL) C/M "H" CLIPS
ENGINEER APPROVED TRUSSES @ 24" O.C.
R-50 CELLULOSE INSULATION
1X4 CEILING STRAPPING @ 16" O.C.
6mil GGSB POLYETHYLENE VAPOUR BARRIER
1 LAYER 1/2" DRYWALL (OR AS SPECIFIED BY OWNER)
INT. FINISH AS SPECIFIED BY OWNER

TYPICAL EXTERIOR WALL
EXTERIOR FINISH AS SPECIFIED BY OWNER
BUILDING PAPER
7/16" OSB SHEATHING (OR EQUAL)
2X6 K.D. SPRUCE STUDS @ 16" O.C.
BATT INSULATION MIN. R-24
6mil GGSB POLYETHYLENE VAPOUR BARRIER
1/2" DRYWALL (OR AS SPECIFIED BY OWNER)
INT. FINISH AS SPECIFIED BY OWNER

TYPICAL FLOOR
FLOOR FINISH AS SPECIFIED BY OWNER
3/4" T&G SUBFLOOR SHEATHING GLUED & NAILED
TO JOIST (JOIST TO BE 2X10)
INSULATE FLOOR CAVITY (R24MIN.)

TYPICAL FOUNDATION
2-PLY LVL BEAMS TO SUPPORT FLOOR SYSTEM
4 1/2" X 12'-0" SCREW PILES
TORQUE SPECS AS PER ENGINEER

TYPICAL WALL SECTION
NTS

KM DESIGNS

CONTRACTOR:

BETCHERS
CONSTRUCTION LTD.

OWNER:

ERWIN BETCHER

DATE:

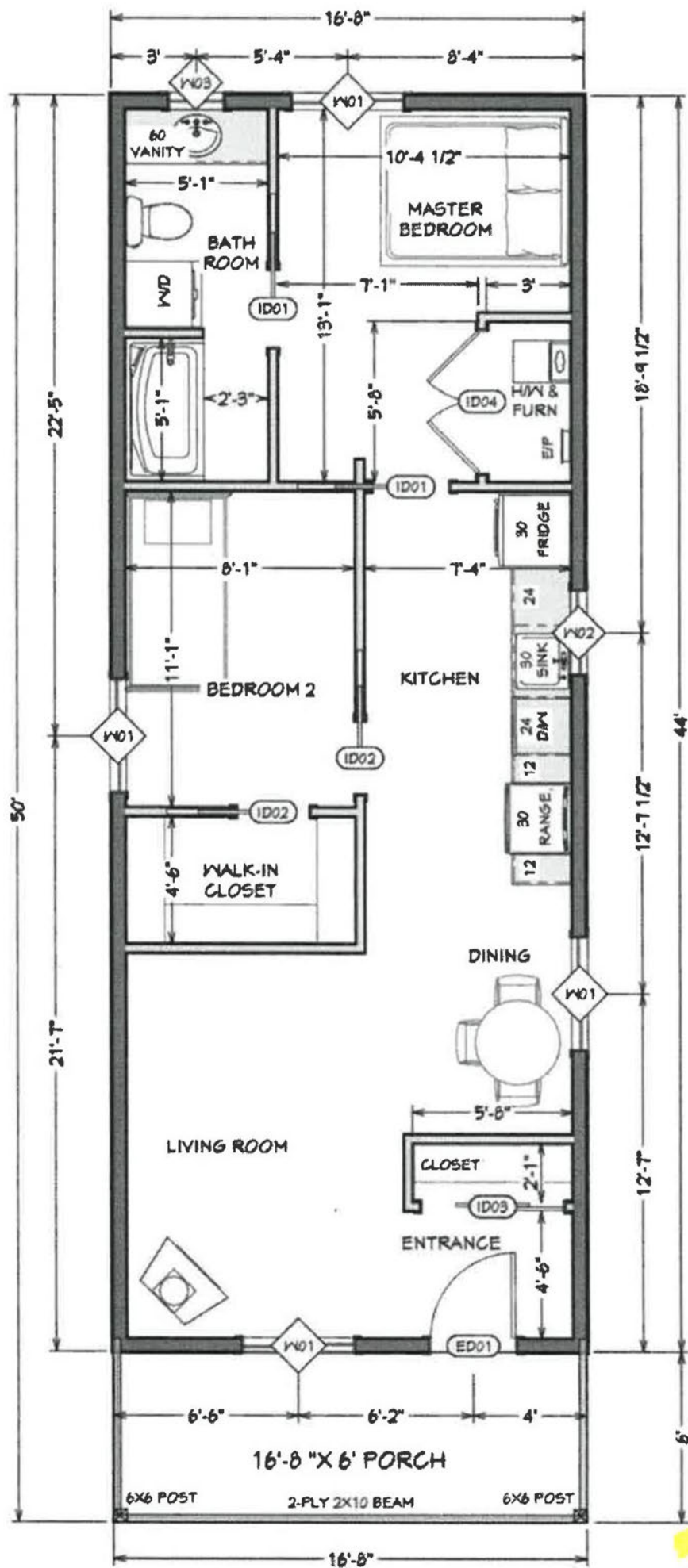
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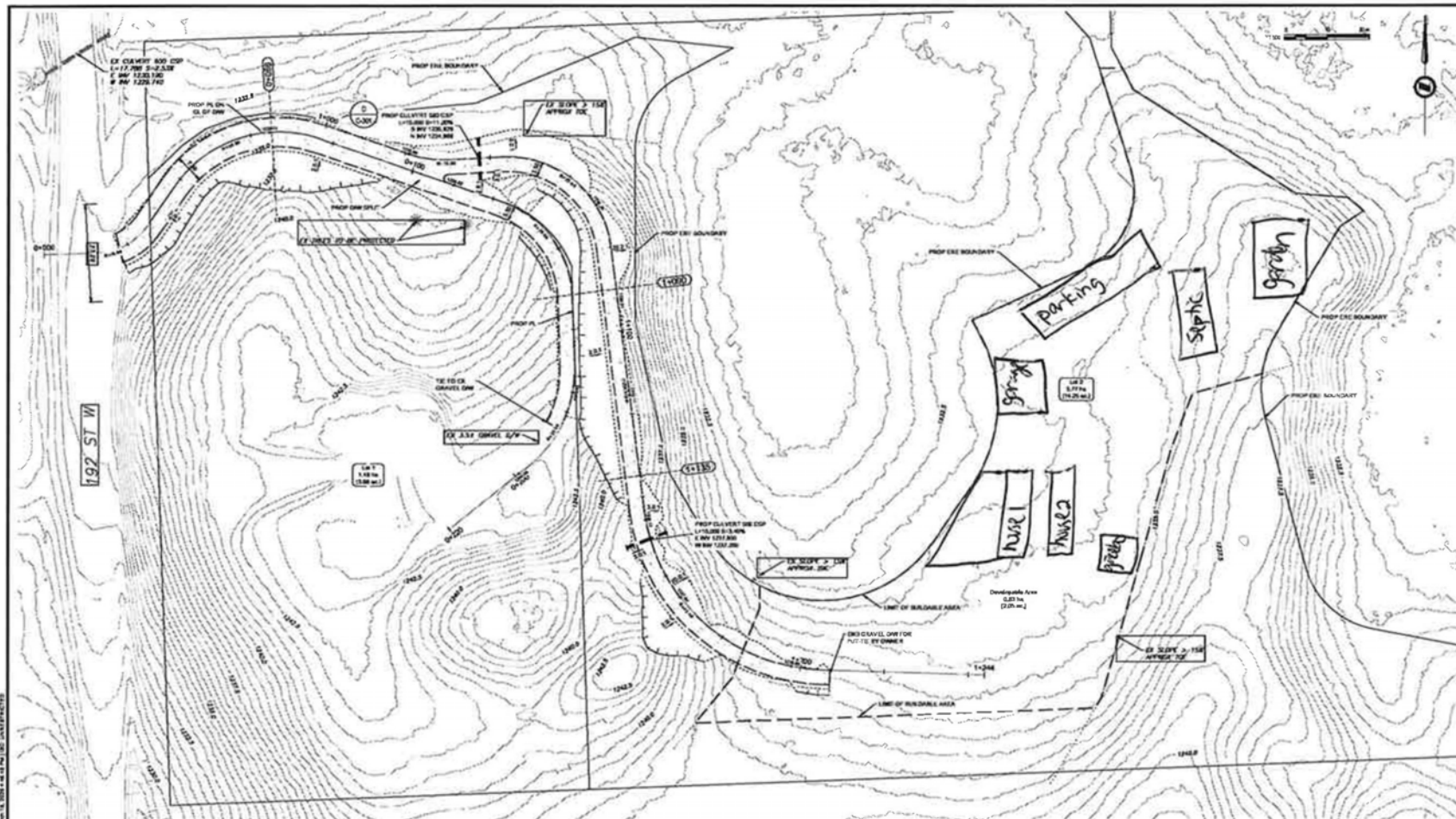
SHEET:

A-4



Secondary suite
Chris' house

My rough design - not to scale



NOTES

- [illegible]

NAD 83
COORDINATES

FOR CLIENT REVIEW ONLY

[illegible]

PROJECT
Klotz Subdivision

EVE: 89031, TEMP: 71, RICE: 2, WIND: 14

Driveway Design
Site Plan

PROJECT NO. 220786

CMS (RMS) NO.	
---------------	--

SHIFT ID. C-101

1 of 3

SHEET SIZE AND NO. 25-0000



OSPREY ENGINEERING INC.

Office: 512 Main Street N., Diamond Valley, Alberta T0L 2A0 Canada
Mailing: Box 1367 Black Diamond, Alberta T0L 0H0 Canada
Tel.: 403-933-2226 Email: ospreyeng@gmail.com Web: cspreyeng.com

Klotz Subdivision Engineered Driveway

BASE INFORMATION

BASE SOURCE:
Per Maidment Survey (2024-12-09)
Coordinate system is UTM Zone 11N (117°W) NAD83
Coordinates are ground. Combined factor to datum is 0.999859

DRAWING INDEX

Sheet List Table

Sheet Number	Sheet Title
G-000	Title
G-001	Legend
C-101	Driveway Design
C-201	Profiles
C-301	Cross Sections

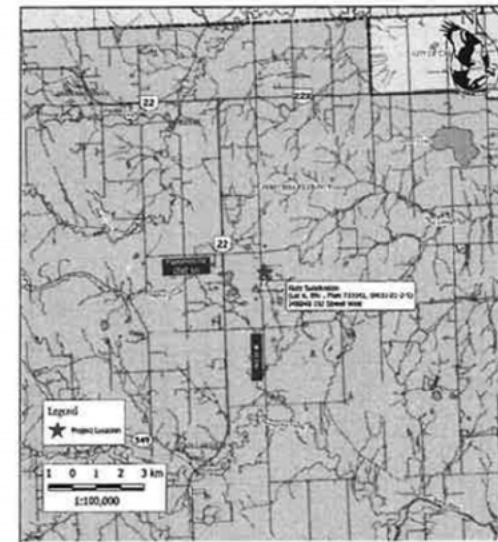
DRAWING HISTORY

ISSUE	DATE (YYYY-MM-DD)
FOR CLIENT REVIEW	2025-02-08
FINAL DRAFT FOR CLIENT REVIEW	2025-03-18

PROPERTY DESCRIPTION

LEGAL DESC: Lot 6, Plan 731041, SW31-21-2-5

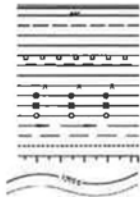
MUNICIPAL ADDRESS: [REDACTED]



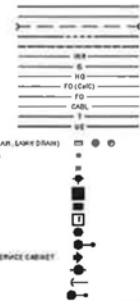
VICINITY MAP

□:□

PROPOSED



PROPOSED

[illegible][illegible]

ABAND	ABANDONED
ASD	ASBESTOS CEMENT
AGD	ABOVE GEODESIC DATUM
AW/W	ACCESS RIGHT OF WAY
BOA	BEGINNING OF ALIGNMENT
BQC	BURD OF CURB
RCL	RIGHT-OF-WAY SLOPE (SUPERELEVATION)
BNC	BEGIN NORMAL CROWN (SUPERELEVATION)
BVC	BV BULEVAARD
BVT	VERTICAL TANGENT-CURVE INTERSECT
CW	CURB OF WALK
C	CURVE
C&G	CURB & GUTTER
CB	CATCH BASIN
CE	CENTRE OF CURVE
O	COST IRON
I	CENTRELINE
CONC	CONCRETE
CI	CISENTE
CS	CURVE SPIRAL INTERSECT
CSP	CORRUGATED STEEL PIPE
CT	CURVE TRANSITION
DR	DRIVE
E	EAST/EASTING
EB	EASTBOUND
EFS	END FULL SLOPE (SUPERELEVATION)
EL	ELEVATION
ENC	END NORMAL CROWN (SUPERELEVATION)
EOA	EDGE OF ALIGNMENT
EOP	EDGE OF PAVEMENT
ETW	EDGE OF TRAVELLEDWAY
EV	VERTICAL CURVE-TANGENT INTERSECT
EX	EXISTING
FQ	FIBRE OPTIC
FOC	FACE OF CURB
FUT	FUTURE
Hwy	HIGHWAY
IRR	IRRIGATION
K	VERTICAL CURVE COEFFICIENT
L	LENGTH LITRE
LC	LEVEL CROWN (SUPERELEVATION)
LGE	LIP OF GUTTER EAST
NGL	LIP OF GUTTER NORTH
LSG	LIP OF GUTTER SOUTH
LWG	LIP OF GUTTER WEST
M	METRE, OFFSET FROM VERTICAL CURVE TO
MAN	MANHOLE
MONO N	MONOLITHIC CURB AND SIDEWALK
NORTH/N	NORTH/NORTHING

NB	NORTHBOUND
NCR/W	OVERLAND DRAINAGE RIGHT-OF-WAY
PC	TANGENT CURVE INTERSECT (BEGINNING OF CURVE)
PCC	POINT OF COMPOUND CURVATURE
PE	POLYETHYLENE
PEX	CROSSLINKED POLYETHYLENE
PI	TANGENT-TANGENT INTERSECT
PL	PLANT/PROPERTY LINE
PR	PROPOSED
PRC	POINT OF REVERSE CURVATURE
PT	CURVE-TANGENT INTERSECT (END OF CURVE)
PVC	POLYVINYL CHLORIDE
PW	POTABLE WATER
R	RADIUS
R/W	RIGHT-OF-WAY
RD	ROAD
REV	REVERSE
ROR	RIGHT-OF-WAY
RLO	RANGE
RP	RADIUS POINT
RW	RETAINING WALL
S	SOUTH
SB	SOUTHBOUND
SC	SPIRAL-CURVE INTERSECT
SD	STORM DRAIN (SEWER)
SEC	SECTION
SEP	SEPARATE
SHLD	SHOULDER
SL	STREETLIGHT
SS	SANITARY SEWER
ST	STREET
STA	STATION
STD	STANDARD
STL	STEEL
T&S	TOPSOIL & SEED
TL	TANGENT LENGTH
TEMP	TEMPORARY
TR	TRAIL
TWP	TOWNSHIP
TYP	TYPICAL
ULT	ULTIMATE
UR/W	UTILITY RIGHT-OF-WAY
VAR	VARIETY
VC	VERTICAL CURVE
VCT	VERTIFIED CLAY TILE
VPI	VERTICAL POINT OF INTERSECTION
W	WEST
WB	WESTBOUND
WOR	WHEELCHAIR RAMP

NAD 83

E	FINAL DRAFT FOR CLIENT REVIEW	2025-03-10		
A	FOR CLIENT REVIEW	2025-03-06	N/A	
NO	DESCRIPTION	DATE (mm/dd/yyyy)	BY	APPRO

FORMS	SCALE

	BY	DATE
RECEIVED	MAK	2023-02-08
ISSUED	MAK	2023-02-08
CHECKED	MAK	

AL SHOWN

JSPREY
ENGINEERING INC.

PROJECT	Klotz Subdivision
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SEE: 6401, 7401, 8401, 9401, 10401

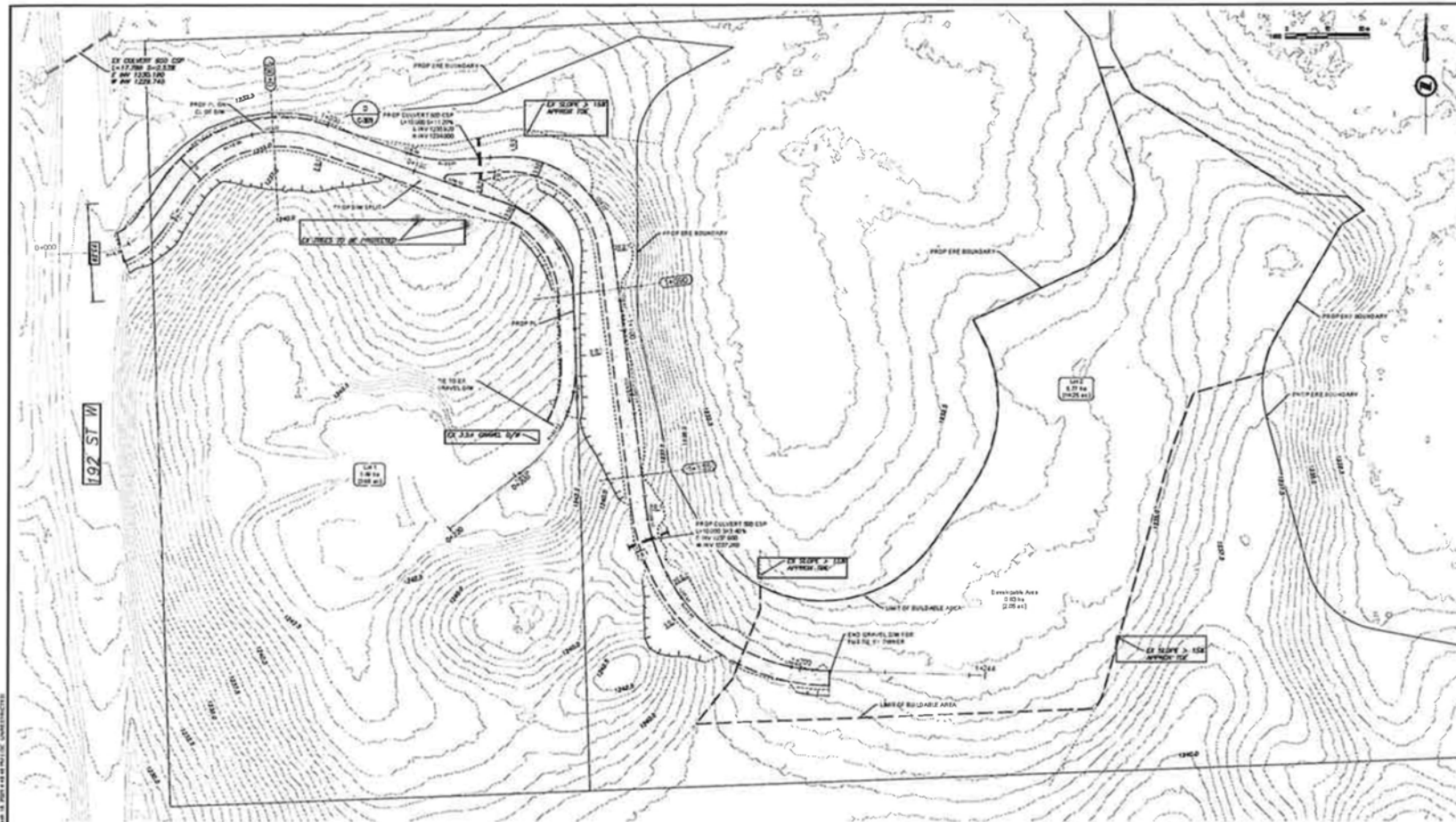
Legend

PROJECT NO 228788	END USER NO
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SHEET 0	SHEET COUNT
G-001	

SHEET 100 OF 100

SHEET 1 OF 2 ANG 10 25 mm 1



NOTES

1. ALL PIPE SIZES ARE IN MILLIMETRES AND ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.
2. ALL DISTANCES AND COORDINATES ARE AT GRID AND TAKEN FROM SURVEY BY MICHIGAN LAND SURVEYERS FROM 2004 TO 2006. COORDINATE SYSTEM REFERENCE IS TO THE 1983 NAD 83 DATUM. COORDINATE FACTOR (DATA TO GRID) IS 0.9999999999.
3. ALL ROAD SURFACES AND OTHER CONSTRUCTION SHALL BE TO THE SURFACE AND GRADES NOTED.
4. ALL AREAS OF CUT AND FILL SHALL BE STRIPPED OF TOPSOIL.
5. FILL CONSTRUCTION SHALL BE AS FOLLOWS:
a. 15% OF STANDARD PROCTOR MAXIMUM DENSITY TO 0.3m BELOW TOP OF SUBGRADE.
b. 90% OF STANDARD PROCTOR MAXIMUM DENSITY FOR THE REMAINING TO TOP OF SUBGRADE.
6. COMMON FILL MATERIAL SHALL NOT CONTAIN ANY COARSE FRAGMENTS (ROCKS) GREATER THAN 150mm. SUCH MATERIAL SHALL BE REMOVED AND IF ACCEPTABLE, USED AS SUBGRADE OR DUMPED AS DIRECTED BY THE ENGINEER.
7. COMMON MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, DANGEROUS AND OTHER DEBRIS.
8. COMMON FILL MATERIAL SHALL NOT BE PLACED WHEN FROZEN OR EXCEEDS 10% WET.
9. ROAD GRAVEL SHALL BE COMPACTED TO 100% OF MAXIMUM DENSITY.
10. ROAD GRAVEL SHALL BE:
a. 10% OF 4.75 TO 75mm.
b. 10% OF 75 TO 150mm.
11. ALL SUBURSTS SHALL BE PROVIDED WITH RIPRAP AS NOTED.
12. RIPRAP SHALL BE 150mm OR SIMILAR (20% 150mm).
13. UNLESS OTHERWISE NOTED, ALL LANDSCAPED AREAS SHALL HAVE A MINIMUM 10% OF TOPSOIL PLACED.
14. TOPSOIL SHALL BE FREE OF DEBRIS AND DANGEROUS.
15. TOPSOIL SHALL BE SEED WITH A RESILIENT, LOW MAINTENANCE, NATIVE GRASS MIXTURE.

NAD 83
COORDINATES

FOR CLIENT REVIEW ONLY

NO.	DESCRIPTION	DATE	BY	APP'D
1	DESIGNED	2025-02-08	MM	
2	DRAWN	2025-02-08	MM	
3	CHECKED	2025-02-08	MM	



PROJECT: Klotz Subdivision

DESIGNER: KLOTZ, TWP. 21 N., R. 10E, T. 10N. W.

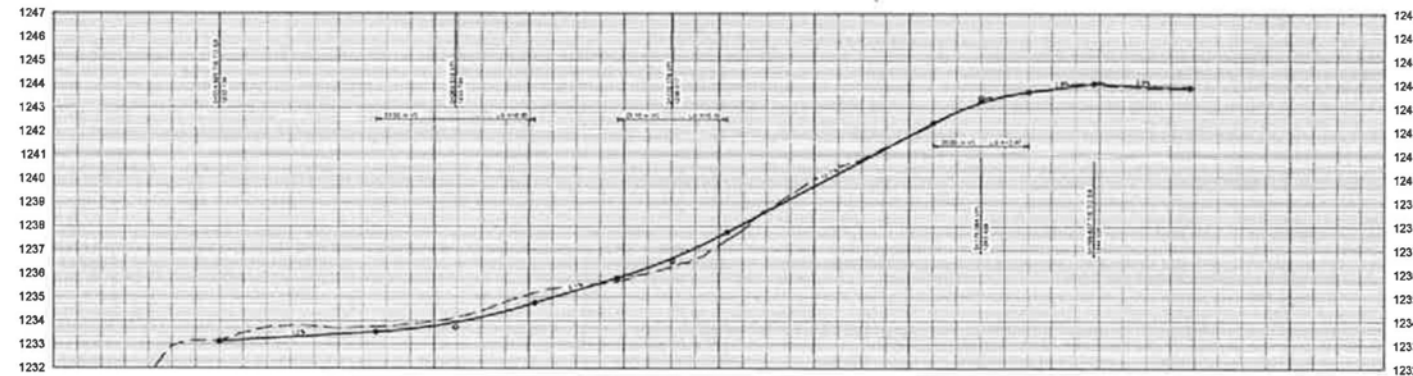
SHEET TITLE: Driveway Design Site Plan

PROJECT NO: 220786

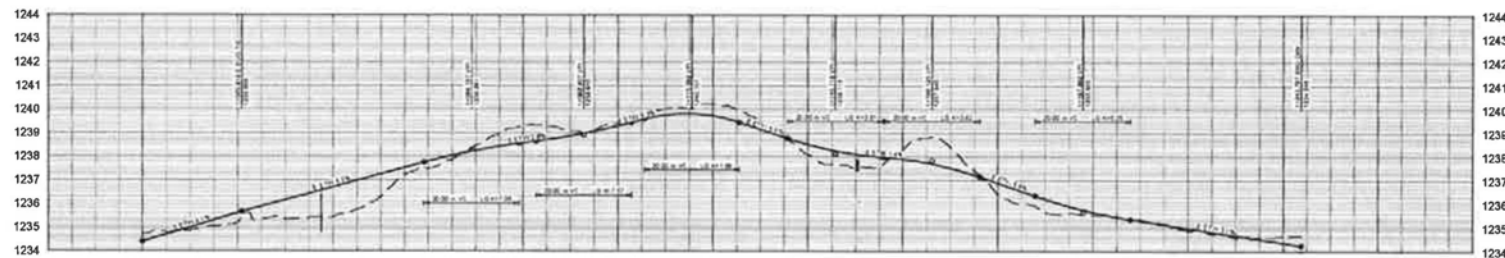
SHEET NO: C-101

SHEET COUNT: 1 of 3

SHEET SIZE: A3 (11 x 17 in)



A Main Access and Lot 1 Driveway Profile (Alignment A000)



B Lot 2 Driveway Profile (Alignment A100)



NOTES

1. ALL DIMENSIONS ARE IN METRES AND ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.
2. ALL DISTANCES AND COORDINATES ARE AT GROUND AND TAKEN FROM SURVEY BY MACHINERY LAND SURVEY FROM 2024 Q-34. COORDINATE SYSTEM REFERENCE IS UTM ZONE 11. MODEL COMBINED FACTOR (GUTTER TO CURB) IS 0.40000.
3. ALL ROAD RESURFACING AND BRICK CONSTRUCTION SHALL BE TO THE SLOPES AND GRADES NOTED.
4. ALL AREAS OF CUT AND FILL SHALL BE STRIPPED OF TOPSOIL.
5. FILL COMPACTION SHALL BE AS FOLLOWS:
 - A. 95% OF STANDARD PROCTOR MAXIMUM DENSITY TO 0.30m BELOW TOP OF SUBGRADE
 - B. 90% OF STANDARD PROCTOR MAXIMUM DENSITY FOR THE FINAL 0.30m TO TOP OF SUBGRADE
6. COMMON FILL MATERIAL SHALL NOT CONTAIN ANY COARSE FRAGMENTS (WOODS GREATER THAN 100mm). SUCH MATERIAL SHALL BE REMOVED AND IF ACCEPTABLE, USED AS BRICK OR DISPOSED AS DIRECTED BY THE SURVEYOR.
7. COMMON FILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, GARBAGE AND OTHER DEBRIS.
8. COMMON FILL MATERIAL SHALL NOT BE REPLACED WHEN FROZEN OR EXCESSIVELY WET.

- BASE AND FINISH SPECIFICATIONS**
1. ROAD GRAVEL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
 2. ROAD GRAVEL SHALL BE:
 - A. 95% OF STANDARD PROCTOR MAXIMUM DENSITY
 - B. 90% OF STANDARD PROCTOR MAXIMUM DENSITY

- LANDSCAPING SPECIFICATIONS**
1. ALL EXPOSURE SHALL BE PROTECTED WITH BRICK AS NOTED.
 2. BRICK SHALL BE TYPE 100 OR SIMILAR (100mm x 100mm).
 3. UNLESS OTHERWISE NOTED, ALL LANDSCAPED AREAS SHALL HAVE A MINIMUM 100mm OF TOPSOIL PLACED.
 4. TOPSOIL SHALL BE FREE OF ROCKS LARGER THAN 75mm.
 5. TOPSOIL SHALL BE FREE OF DEBRIS AND GARBAGE.
 6. ALL TOPSOIL SHALL BE SEEDS WITH A RESILIENT, LOW MAINTENANCE NATIVE GRASS MIXTURE.

NAD 83
COORDINATES

FOR CLIENT REVIEW ONLY

NO.	DESCRIPTION	DATE	BY	APPV
1	FINAL DRAFT FOR CLIENT REVIEW	2025-03-10		
2	FOR CLIENT REVIEW	2025-03-08	MAN	
3				
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6				
7				
8				
9				
10				

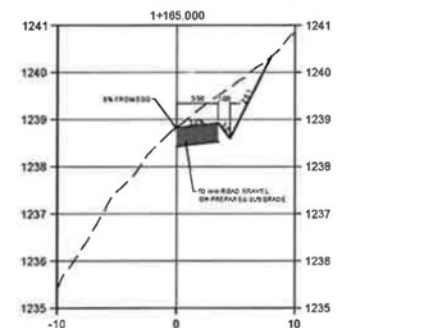
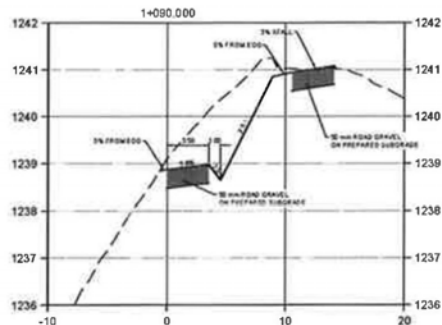
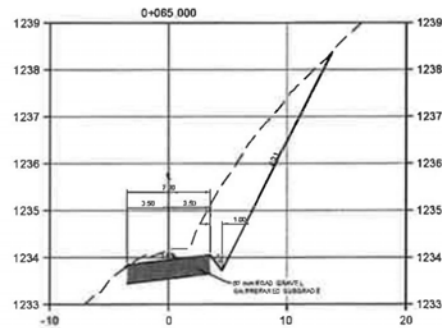
REVISION	DATE	BY	APPV
1	2025-03-10	MAN	
2	2025-03-10	MAN	
3			
4			
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6			
7			
8			
9			
10			

SCALE	AS SHOWN

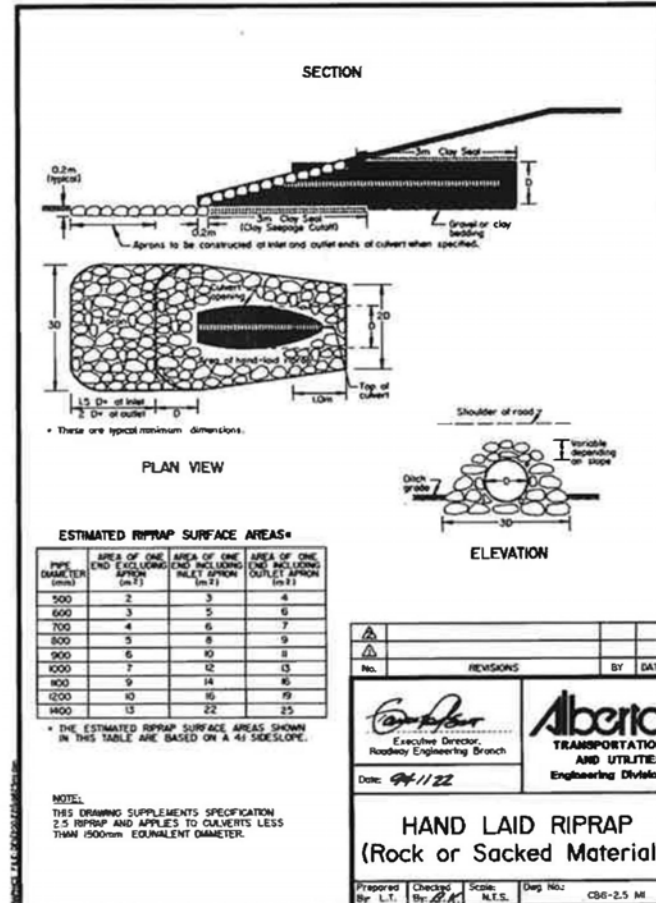
SPREY ENGINEERING INC.

PROJECT	Klotz Subdivision
SHEET TITLE	Driveway Design Profiles
PROJECT NO	228786
SHEET NO	C-201
SHEET COUNT	2 of 3

SHEET SIZE A4 (210mm x 297mm)



C Cross Sections



D Culvert Details

NOTES

1. ALL PIPE SIZES ARE IN MILLIMETRES AND ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE NOTED.
2. ALL DISTANCES AND COORDINATES ARE AT GROUND AND TAKEN FROM SURVEY BY NAVIGANT LAND SURVEY FROM 2024 Q-UP COORDINATE SYSTEM REFERENCED TO ZONE 11, NAD83 COMBINED FACTOR DATUM TO 0.000000.
3. ALL ROAD SUBGRADE AND DITCH CONSTRUCTION SHALL BE TO THE SLOPES AND GRADES NOTED.
4. ALL ROAD OF CUT AND FILL SHALL BE STRIPPED OF TOPSOIL.
5. FILL CONSTRUCTION SHALL BE AS FOLLOWS:
 - a. 10% OF STANDARD PROCTOR MAXIMUM DENSITY TO 150mm TOP OF SUBGRADE
 - b. 10% OF STANDARD PROCTOR MAXIMUM DENSITY TO 150mm TO TOP OF SUBGRADE
6. CEMENT FILL MATERIAL SHALL NOT CONTAIN ANY COARSE FRAGMENTS (ROCKS) LARGER THAN 100mm. SUCH MATERIAL SHALL BE REMOVED AND, IF ACCEPTABLE, USED AS RIPRAP OR DISPOSED AS DIRECTED BY THE ENGINEER.
7. CEMENT MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, GARBAGE AND OTHER DEBRIS.
8. CEMENT FILL MATERIAL SHALL NOT BE PLACED WHEN FROZEN OR EXCESSIVELY WET.
9. ROAD GRAVEL SHALL BE COMPACTED TO 100% OF MAXIMUM DENSITY.
10. SAND GRAVEL SHALL BE:
 - a. 100% OF 4.75

- LANDSCAPING SPECIFICATIONS:**
1. ALL SOILS SHALL BE PROVIDED WITH RIPRAP AS NOTED.
 2. RIPRAP SHALL BE TYPE 1M OR SIMILAR (300-1500mm).
 3. UNLESS OTHERWISE NOTED, ALL LANDSCAPED AREAS SHALL HAVE A MINIMUM 100mm OF TOPSOIL PLACED.
 4. TOPSOIL SHALL BE FREE OF ROCKS LARGER THAN 75mm.
 5. TOPSOIL SHALL BE FREE OF SOILS AND GARBAGE.
 6. ALL TOPSOILED AREAS SHALL BE SEED WITH A RESILIENT, LOW MAINTENANCE NATIVE GRASS MIXTURE.

FOR CLIENT REVIEW ONLY

NO.	DESCRIPTION	DATE	BY	APPROVED
1	FINAL DESIGN CLIENT REVIEW	2024-03-18		
2	FOR CLIENT REVIEW	2024-03-18	MM	

DESIGNED	MM	2024-03-18
CHECKED	MM	2024-03-18
SCALE	AS SHOWN	



PROJECT	Klotz Subdivision
DESIGNED BY	MM
CHECKED BY	MM
PROJECT NO.	220708
SHEET NO.	C-301
SHEET COUNT	3 of 3



Box 524
Okotoks, AB
T1S 1A7

Phone: 403-371-8858 Email:
terrexltd@gmail.com

**Estimate for Chris L'Amarca
Septic System Installation
248040 192 Street W**

March 18, 2026

Based on Home Owner Information

Site Evaluation and Soil Analysis	\$	2,295.00
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Price includes the excavation of 2 test pits in the area of the proposed soil based treatment area. Soil analysis includes evaluation of soil horizons in each test pits and soil sample testing to determine soil texture. Septic System design submission to Foothills County, Permit fees and inspections.

Septic System: 1500 Gallon Tank with Treatment Mound	\$	36,194.00
--	----	-----------

Price includes the supply and installation of 1500 gallon concrete 2 compartment tank, 4" sanitary line from 2 homes, 2" discharge line from tank to mound, 2785 sqft treatment mound with 425 sqft sand layer, 1" pressure distribution laterals, monitoring ports, lateral access covers, pump screen, 30gpm pump, simplex timed dose control panel, high level alarm and all relative materials for system operation.

Total	\$	38,489.00
--------------	-----------	------------------

NOTES

- Payment in full is required within 30 days.
- All work and materials will remain the property of Terrex Construction Ltd until payment of invoices is received in full.
- Septic System Price is based on location as indicated in report from Osprey Engineering. Loading rate is based on information from report, Clay Loam with 0.45 gal/day/sqft for secondary effluent.
- Septic System Price is based on estimated 354 imperial gallon Daily Peak Flow for wastewater from the proposed 2 homes. Terrex Construction reserves the right to adjust septic system design and estimate to meet the results of soil texture results from test pits, as well as daily peak flow from actual plans of the 2 proposed homes.
- Price does not include ripping of frost or rock during the proposed scope of work.
- The quote includes moving machinery in and out 2 times.
- Additional moves will cost \$600.00 per move.
- This quote is valid for 90 days.
- All prices are subject to 5% G.S.T.

**Thank-you for the opportunity to quote on this project. If you have
any questions or concerns please call me at 371-8858.**



Please fill in form, print and sign application before returning to Foothills County.

The form must be signed by the landowner(s) of the property.



Secondary Suite Checklist

Foothills County

309 Macleod Trail, Box 5605, High River, AB T1V 1M7. Tel: 403-652-2341 Fax: 403-652-7880

THIS IS NOT A BUILDING PERMIT. Construction practices and standards of construction of any building or any structure authorized by this Development Permit must be in accordance with the Building and Safety Code Permits. An application must be made for all required Building and/or Safety Codes Permits.

Construction of Secondary Suites may not commence, nor can a Secondary Suite be occupied, prior to the issuance of all required Development, Building, and Safety Code approvals.

LANDOWNER/APPLICANT INFORMATION

Name of Landowner(s)

Christina L'Amore

Name of Applicant(s)

Christina L'Amore

Legal Land Description: Plan 2511687

Block 6

Lot 2

Quarter Section SW 31

Township 21

Range 2

Meridian 5

Area of Lot (In Acre or Hectares)

14.254

TYPE OF SECONDARY SUITE

(LOCATED WITHIN)	CHECK	(STAND-ALONE)	CHECK
Existing Principal Dwelling/Attached Garage		Proposed New Detached Secondary Suite	☒
Existing Accessory Building		Existing Detached Secondary Suite	
Proposed New Principal Dwelling/Attached Garage			
Proposed New Accessory Building			

SUITE INFORMATION

Secondary Suite existed before Bylaw 68/2023 was adopted: January 31, 2024

☐ YES

☒ NO

Estimated date of Construction (if Secondary Suite existed prior January 31, 2024): June 2026

Total habitable area of principal dwelling (pre-Secondary Suite): 1680 sq ft

Total area of the Secondary Suite area (sq. ft.): 850 sq ft

The following definitions may be used to help determine the total area of the Secondary Suite:

HABITABLE AREA of a Secondary Suites is the sum of all floors of all livable space contained within the exterior walls of the structure, including the basement, designated for human occupancy including areas for living, sleeping, eating or food preparation, or recreational purposes, but does not include the garage or areas devoted exclusively to mechanical or electrical equipment servicing the development.

BUILDING FOOTPRINT means the total ground coverage or impermeable surface of the building area, including any covered roof structures, cantilevers, eaves, attached and covered decks, garage space, carports, porticos, etc. The Building Footprint is used for assessing things such as lot coverage.

Maximum height of Secondary Suite:

16'

Total number of Dwelling Units on the parcel (prior to making this application):

1

Number of parking spaces provided for the Secondary Suite:

1

Describe availability of storage space accessible to the occupants of the Secondary Suite: garage + loft

WATER SOURCE

1. Connection to Municipal Water System

Name of Municipal Water System or Hamlet/Subdivision: _____

Requirements:

- ☐ I have attached a letter of confirmation from the County indicating there is adequate water to service the additional use (Secondary Suite) on the subject parcel.
- ☐ I have completed and attached the necessary "Application for Connection to Municipal Services" and Municipal Servicing Declaration for approval to connect to the municipal water system.
- ☐ I have included a site plan showing the existing water line on the parcel and illustrating the proposed new water line and/or water line connection location as it ties into the existing system.

2. Connection to Non-Municipally Owned Communal Water System

Name of Private Water System Provider _____

Requirements:

- ☐ I have attached a letter from owner/operator of the piped water system, confirming approval to connect and confirmation there is adequate water available to service the additional use for the Secondary Suite on the subject parcel.

3. New or Existing Groundwater Well (Check one)

- ☐ Connected to new well specifically for the Secondary Suite
- ☐ Connection to existing groundwater well on the parcel specifically for the Secondary Suite
- ☒ Propose to share existing groundwater well on site.

Explain shared use _____

- ☐ I am installing a water cistern to supplement the groundwater source for the Secondary Suite (if this option is selected, the below Section 4 must also be completed).

4. Water is hauled to the site to the cistern or water storage system as the water source for the Secondary Suite

- ☐ Cistern/Water Storage System (please include size of storage) _____
- ☐ Where is the water supply hauled from (municipal treated source)? _____
- ☐ I have provided a Water Management Plan outlining a proposal to dictate how an adequate potable water supply is to be maintained for the Secondary Suite at all times.

SEWAGE TREATMENT AND DISPOSAL

1. Connection to Municipal Wastewater/Sewer System

Name of Municipal System/Hamlet/Subdivision: _____

Requirements:

- ☐ I have attached a letter of confirmation from the County indicating there is adequate capacity for the additional wastewater to service the additional use on the subject parcel.
- ☐ I have completed and attached the necessary "Application for Connection to Municipal Services" for approval to connect to the municipal wastewater/sewer system.
- ☐ I have included a site plan showing the existing wastewater/sewer line on the parcel and have illustrated the proposed new wastewater/sewer line and/or connection location as it ties into the existing system.

2. Connection to Non-Municipally Owned Wastewater /Sewer System

Name of Private Wastewater/Sewer System Provider _____

Requirements:

- ☐ I have attached a letter from owner/operator of the wastewater/sewer system, confirming approval to connect to the system and confirmation there is adequate capacity to service the additional use of a Secondary Suite on the subject parcel.
- ☐ I have completed and attached the necessary "Application for Connection to Municipal Services" and Municipal Servicing Declaration for approval to connect to the municipal wastewater system.

3. Private Wastewater /Sewer System

- ☒ Connection to existing private sewage treatment system on the property
* (Landowner responsibility to ensure sewage treatment system meets the Safety Code requirements)
- ☐ Expansion of existing private sewage treatment system on the property
* (Landowner responsibility to ensure sewage treatment system meets the Safety Code requirements)
- ☒ Construction of new private sewage treatment system on the property
* (Landowner responsibility to ensure sewage treatment system meets the Safety Code requirements)

ADDITIONAL INFORMATION REQUIRED

Specify other supporting material attached that forms part of this application (i.e., Site plan, Covenants, Servicing plans, Floor Plan, Elevation Drawings, proposed and/or existing screening, and supporting information).

see attached

Estimated Date of Commencement:

May 10, 2026

Estimated Date of Completion:

July 10, 2026

Describe how the potential for impact on neighbouring properties is minimized (location, design, screening/landscaping, installation of cistern/water storage, etc.)

no impact, existing trees

911 ADDRESS INFORMATION

- ☒ I hereby acknowledge and understand that I may be required to obtain a new 911 address for safety and emergency purposes for the Secondary Suite developed on the property and agree to do so in accordance with the rules and requirements of the Foothills County and acknowledge that the proposed development may result in additional and/or updated municipal address(es) on the property. Consequently, I understand and accept that this may result in changes to the Canada Post mail address. The county is not responsible for associated costs of such.

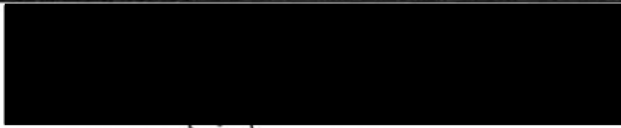
PRE-APPLICATION BUILDING AND SAFETY CODES INSPECTION

- ☐ I hereby acknowledge that I understand that I have the option to have a Building and Safety Codes Officer conduct a pre-development permit application inspection of the existing Secondary Suite for a fee of \$160.00 + 4% Safety Codes Fee. This inspection would allow for a certified Building Inspector to outline how well the existing un-permitted Secondary Suite meets the Alberta Building Code and would provide a better understanding of renovations or changes that may be required to bring the Secondary Suite into compliance with safety regulations.
- ☐ Pre-application inspection completed (Provide copy of the County's preliminary inspection report)
- ☒ Pre-application inspection not requested

SECONDARY SUITE REGISTRY

☒ I hereby consent to Foothills County publishing my legal description, municipal address, parcel size, land use, Development Permit Application #, and type of Secondary Suite approved on the property within the Secondary Suite Registry as public information. Applicant/Landowner names will not be disclosed on the Registry. This Registry is intended to allow prospective tenants, landowners, realtors, and other interested parties to search permitted Secondary Suites in the Municipality.

SIGNATURES


Signature of Landowner(s)

April 30, 2026
Date

Signature of Landowner(s)

Date

Signature of Applicant(s)

Date

Signature of Applicant(s)

Date

SW 31-21-2 W5M;Plan 2511687 Blk 6 Lot 2



2026-04-15, 12:12:39 p.m.

 Parcels

World Imagery

Low Resolution 15m Imagery

High Resolution 60cm Imagery

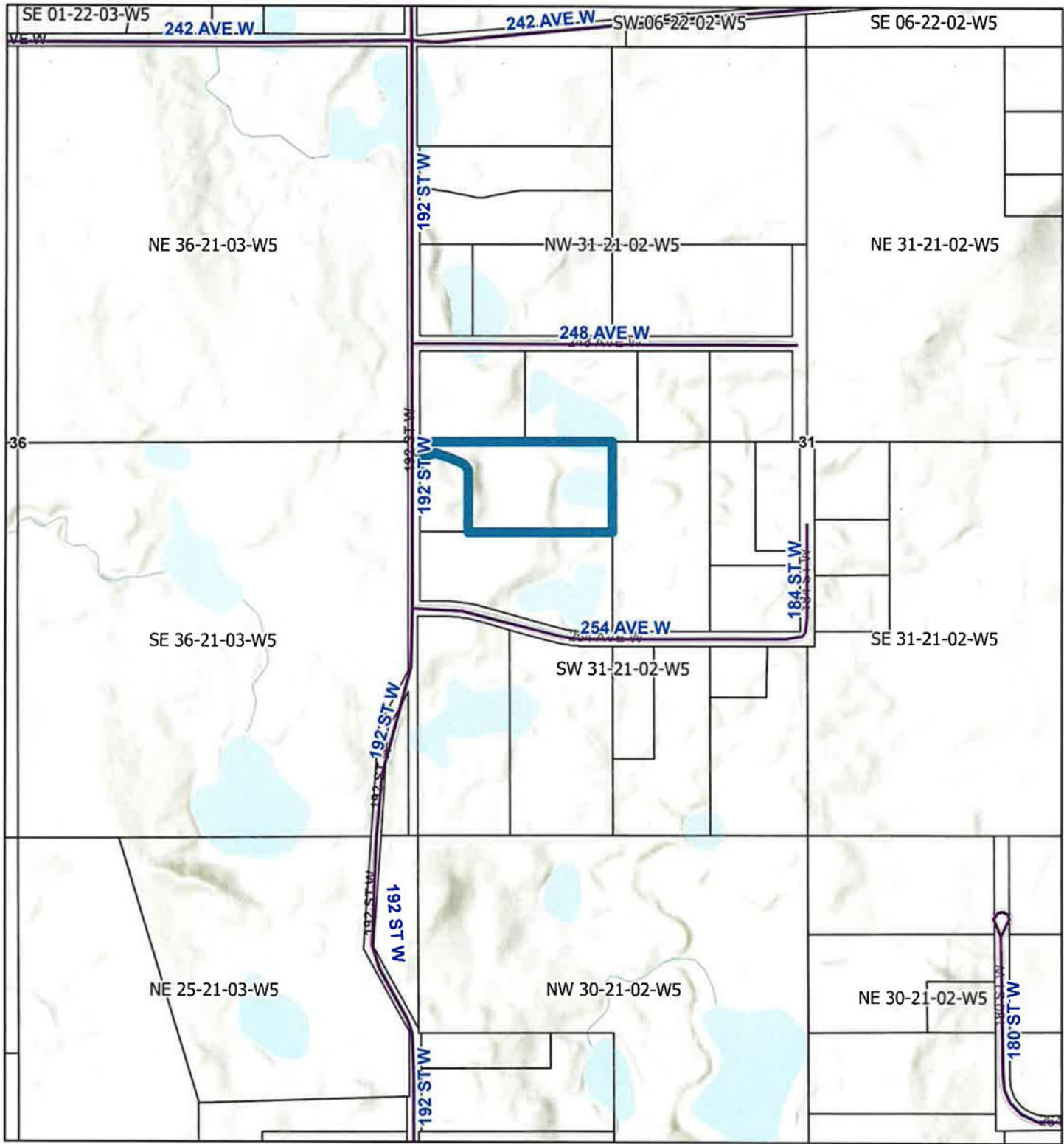
High Resolution 30cm Imagery

Citations



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0 0.02 0.04 0.09 mi
0 0.04 0.07 0.15 km

SW 31-21-2 W5M;Plan 2511687 Blk 6 Lot 2



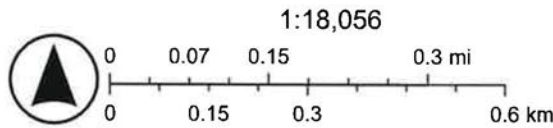
2026-04-15, 12:16:15 p.m.

Roads

— Chips Seal / Oil

▭ Parcels

World_Hillshade



Esri, NASA, NGA, USGS, FEMA



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0040 472 573 2511687;6;2 251 244 503 +1

LEGAL DESCRIPTION
PLAN 2511687
BLOCK 6
LOT 2
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 5.765 HECTARES (14.25 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;2;21;31;SW

MUNICIPALITY: FOOTHILLS COUNTY

REFERENCE NUMBER: 061 498 080

 REGISTERED OWNER(S)
REGISTRATION DATE(DMY) DOCUMENT TYPE VALUE CONSIDERATION

251 244 503 25/09/2025 SUBDIVISION PLAN

OWNERS

JEFF KLOTZ

AND

TERESA KLOTZ

BOTH OF:

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

851 108 254 02/07/1985 UTILITY RIGHT OF WAY
 GRANTEE - MEOTA GAS CO-OPERATIVE ASSOCIATION
 LIMITED.

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

251 244 503 +1

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

061 498 081 30/11/2006 MORTGAGE
MORTGAGEE - ALBERTA TREASURY BRANCHES.
239-8 AVE SW
CALGARY
ALBERTA T2P1B9
ORIGINAL PRINCIPAL AMOUNT: \$763,750

061 498 082 30/11/2006 CAVEAT
RE : AGREEMENT CHARGING LAND
CAVEATOR - BRET COMOLLI
C/O NORTH & COMPANY
PO BOX 1300
CLARESHOLM
ALBERTA T0L0T0
CAVEATOR - JACKIE COMOLLI
C/O NORTH & COMPANY
PO BOX 130
CLARESHOLM
ALBERTA T0L0T0
AGENT - TIMOTHY E PERRY

251 244 468 25/09/2025 CAVEAT
RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL
GOVERNMENT ACT
CAVEATOR - FOOTHILLS COUNTY.
BIX 5605
HIGH RIVER
ALBERTA T1V1M7

251 244 505 25/09/2025 EASEMENT
AS TO PORTION OR PLAN:2511688
OVER AND FOR BENEFIT OF: SEE INSTRUMENT

251 244 550 25/09/2025 ENVIRONMENTAL RESERVE EASEMENT
GRANTEE - FOOTHILLS COUNTY.
AS TO PORTION OR PLAN:2511689

TOTAL INSTRUMENTS: 006

PENDING REGISTRATION QUEUE

DRR RECEIVED
NUMBER DATE (D/M/Y) SUBMITTER LAND ID

H002N18 16/03/2026 MULLEN & COMPANY
403-271-9710
CUSTOMER FILE NUMBER:
3-19719

(CONTINUED)

PENDING REGISTRATION QUEUE

PAGE 3

251 244 503 +1

DRR NUMBER	RECEIVED DATE (D/M/Y)	SUBMITTER	LAND ID
001		DISCHARGE	2511687;6;2
002		DISCHARGE	2511687;6;2
H00369T	23/03/2026	BRIAN N. LESTER 403-243-0040 CUSTOMER FILE NUMBER: L'AMARCA	
001		TRANSFER OF LAND	2511687;6;2

TOTAL PENDING REGISTRATIONS: 002

DISCLAIMER: THE DOCUMENT INFORMATION REFLECTED IN THE PENDING REGISTRATION QUEUE HAS NOT BEEN VERIFIED BY LAND TITLES AND MAY BE SUBJECT TO CHANGE UPON REVIEW AND REGISTRATION.

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 15 DAY OF APRIL, 2026 AT 12:16 P.M.

ORDER NUMBER: 56862353

CUSTOMER FILE NUMBER: AS_Planning



END OF CERTIFICATE

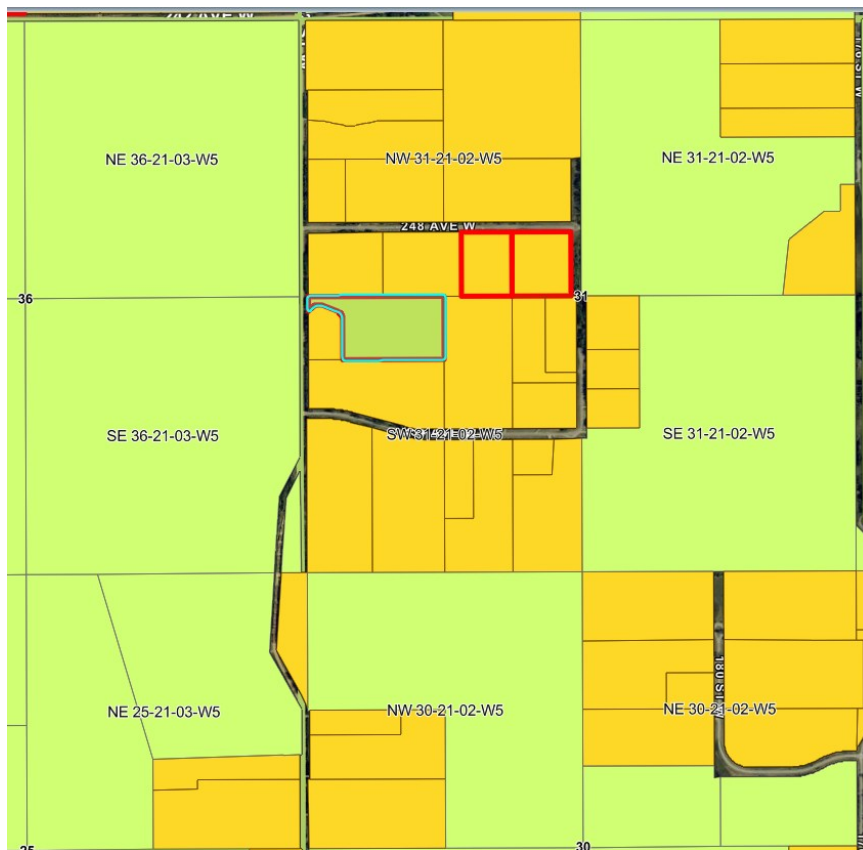
THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

26D 117 – Single Family Dwelling with Detached Garage and Secondary Suite



LAND USE MAP



Land Use Districts

-  NA - Not Applicable
-  A- Agricultural
-  AA- Agricultural Sub A
-  AB- Agriculture Business
-  CR- Country Residential
-  CRA- Country Residential Sub A

Stacey Kotlar

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: Wednesday, April 15, 2026 12:21 PM
To: [REDACTED]
Cc: Stacey Kotlar
Subject: Notice of Complete Application – Development Permit 26D 117

Good Afternoon,

Re: Notice of Complete Application – Development Permit 26D 117
Ptn: SW 31-21-2 W5M; Plan 2511687, Block 6, Lot 2
Single Family Dwelling with Detached Garage and Secondary Suite, Detached on CRA lot

This letter is being sent to you to serve as a notice of acknowledgement that the application as noted above is considered **complete** as of April 13, 2026.

Please note, this is not an approval of your permit, but indicates that your application has been accepted by the County and will now proceed to the next stages of the development permit process.

Notwithstanding the above, in the course of processing your application, we may request additional information or documentation from you that is considered necessary to review your application.

If you have any questions or concerns regarding the information in this letter, please contact **Stacey Kotlar** at Stacey.Kotlar@Foothillscountyab.ca

Regards,

Foothills County
Planning & Development

FC_Planning@foothillscountyab.ca
Foothills County, 309 Madeod Trail S. /Box 5605, High River, AB T1V 1M7
P. (403) 652-2341 | F. (403) 652-7880



W. www.foothillscountyab.ca

SECTION 13 RESIDENTIAL DISTRICTS

13.1 COUNTRY RESIDENTIAL DISTRICT

CR

13.1.1 PURPOSE AND INTENT

To provide for acreage development consistent with the policies outlined in the Municipal Development Plan.

13.1.2 SUB-DISTRICT

- 13.1.2.1 Parcels may include the following sub-district in cases where Council feels that there is a need. Not all parcels will be separated into sub-districts. Should a parcel include the sub-district, all district rules apply with the addition of the special provisions noted in accordance with the sub-district.
- 13.1.2.2 Sub-district "A" is a designation added to the land use district indicating a requirement for special consideration on the development of the site and/or placement and construction of buildings or structures on the lands through approval of a development permit. Reference Section 2.4 of this Bylaw for more details on special provisions for parcels with sub-district "A".

13.1.4 PERMITTED USES	13.1.5 DISCRETIONARY USES
Accessory buildings not requiring a development permit	Accessory buildings requiring a development permit
Accessory uses	Agricultural intensive – on lots 3 acres or more in size
Agricultural (general)	Agricultural specialty
Dwelling, single family	Antenna structures, private
Home Based Business Type I	Arenas, private
Home office	Bed and Breakfast
Signs not requiring a development permit	Family Day Home
Solar Power System, Private (Not requiring a Development Permit)	Dugout (for general ag use)
Temporary storage of no more than 1 unoccupied recreation vehicles (within Hamlet boundary)	Dwelling, moved on
Temporary storage of up to 5 unoccupied recreation vehicles (outside a Hamlet boundary)	Dwelling, temporary
Public works	Home based business Type II
Secondary Suite, Principal	Home based business Type III
Utility services, minor	Intensive vegetation operation
	Kennels, private
	Lot grading
	Man-made water bodies, private
	Secondary Suites, Detached
	Signs requiring a Development Permit

13.1.7.2 Maximum Dwelling Unit Density

- Maximum dwelling unit density for a parcel under 80 acres is one Dwelling, Single Family and either one Dwelling, Secondary Suite in accordance with Section 10.26, or one Dwelling, Temporary in accordance with Section 10.26 Secondary Suites and Section 10.10.

13.1.7.3 Minimum Yard Setbacks Requirements

- a. Front Yard Setbacks:
 - i. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater;
 - ii. 64m (209.97 ft.) from the centreline of a Municipal Road, Major.
 - iii. 48m (157.48 ft) from the centreline of a Municipal road;
 - iv. 15m (49.21 ft.) from the right of way of an internal subdivision road.
 - b. Side Yard Setbacks:
 - i. 15m (49.21 ft.) from the property line.
 - c. Rear Yard Setbacks:
 - i. 15m (49.21 ft.) from the property line.
-

Table 4.2.1.7A

PARCEL SIZE	SIZE OF ACCESSORY BUILDING
Less than 1 acre	Maximum of two (2) buildings with a total cumulative size not to exceed 41.8 sq. m. (450 sq. ft.) accessory to the residence
1.0 - 1.99 acres in size	Maximum of three (3) buildings with a total cumulative size not to exceed 88.26 sq. m. (950 sq. ft.) accessory to the residence
2 - 2.99 acres in size	Maximum of three (3) buildings with a total cumulative size not to exceed 155.6 sq. m. (1,675 sq. ft.) accessory to the residence
3.0 - 4.99 acres in size	Maximum of four (4) buildings with a total cumulative size not to exceed 285.7 sq. m. (3,075 sq. ft.) accessory to the residence
5.0 - 9.99 acres in size	Maximum of four (4) buildings with a total cumulative size not to exceed 325.2 sq. m. (3,500 sq. ft.) accessory to the residence
10.0 - 14.99 acres in size:	Maximum of five (5) buildings with a total cumulative size not to exceed 380.9 sq. m. (4,100 sq. ft.) accessory to the residence
15.0 - 20.99 acres in size:	Maximum of five (5) buildings with a total cumulative size not to exceed 422.7 sq. m. (4,550 sq. ft.) accessory to the residence
21.0 acres and over in size:	Maximum of six (6) buildings with a total cumulative size not to exceed 478.5 sq. m. (5,150 sq. ft.) accessory to the residence.
Agricultural District and Agricultural Business District Parcels	Any size accessory building to be used for agricultural, general purposes on agricultural zoned parcels when an agricultural operation exists on the property, in accordance with Section 4.2.1.7 of this Bylaw.

4.2.1.9 Permanent dwellings are permitted up to two private garages, attached to the permitted dwelling or detached, in addition to the accessory buildings allowed under Section 4.2.1.7A, where:

- a. the total cumulative area of the garage(s) does not exceed 167.23 sq. m. (1,800 sq. ft.), on Agricultural zoned properties; or
- b. the total cumulative area of the garage(s) does not exceed 111.48 sq. m. (1,200 sq. ft.) on all other land use districts.

10.26 SECONDARY SUITES

10.26.1 A Secondary Suite may be considered in accordance with the following:

- a. Secondary Suite, Principal - located within a principal Dwelling Unit, in an extension or addition to the principal dwelling, or above a garage attached to the principal dwelling on the same parcel, as per the definitions in Section 2.5 in accordance with all provisions under Section 10.26.
- b. Secondary Suite, Detached - detached from and subordinate to the principal dwelling, and may be a stand-alone suite, or a suite within, or attached to an accessory building or detached garage on the same parcel as the principal dwelling, as per the definitions in Section 2.5 in accordance with all provisions under Section 10.26.

10.26.3 A Secondary Suite shall be subordinate to a principal dwelling and shall only be located on a parcel where Secondary Suite, Principal or Secondary Suite, Detached is listed as a permitted or discretionary use under the appropriate land use district.

10.26.5 A Development Permit shall be obtained for all Secondary Suites in the County.

10.26.6 All Secondary Suites shall have an approved Building Permit and shall comply with all applicable Building and Safety Code Requirements.

10.26.7 All Secondary Suites shall comply with the Land Use and Development Requirements such as height requirements, setback regulations, and lot coverage, for the applicable land use district.

10.26.8 A Secondary Suite shall only be permitted on a site in accordance with the maximum dwelling unit density requirements under the applicable land use district or in accordance with Section 10.10.5 where the maximum dwelling unit density is not listed in the land use district.

10.26.9 A parcel shall be limited to one Secondary Suite.

10.26.10 Occupancy shall be restricted to a maximum of two bedrooms per suite.

10.26.13 A Secondary Suite, Detached shall meet the following maximum size requirements:

- a. on parcels 1 acre and larger in size, the Secondary Suite shall be smaller than the habitable area of the principal dwelling up to a maximum of 1,400 sq. ft. in size, so long as all other requirements under the appropriate land use district are met (including but not limited to minimum building setbacks, maximum height requirements, maximum dwelling unit density, and maximum lot coverage) and the Secondary Suite meets all requirements of Section 10.26.
- b. on parcels less than 1 acre in size, the Secondary Suite shall be smaller than the habitable area of the principal dwelling up to a maximum of 1,000 sq. ft. in size, so long as all other requirements under the appropriate land use district are met (including but not limited, to minimum building setbacks, maximum height requirements, maximum dwelling unit density, and maximum lot coverage) and the Secondary Suite meets all requirements of Section 10.26.

10.26.14 A Secondary Suite, Detached shall be considered as part of the total allowable number of accessory buildings and total accumulated area of accessory buildings in accordance with parcel size as identified in Table 4.2.1.7A of the Land Use Bylaw.

10.26.19 A Dwelling, Manufactured Home or Dwelling, Mobile Home may be approved by Development Permit as a Secondary Suite, Detached where:

- a. The unit has been prefabricated, built or factory-constructed within ten (10) years of the date of the application.
- b. The unit is placed upon an approved permanent foundation pursuant to the provisions of the building code.
- c. The development is in compliance with all requirements of Section 10.26 for Secondary Suites.
- d. It would not cause the maximum dwelling density for the parcel to be exceeded.
- e. The development meets all other development requirements as per the applicable land use district.
- f. All applicable fire, building and safety codes requirements are met.
- g. The Secondary Suite is finished in a manner that is visually compatible with the principal dwelling on the same lot and in keeping with the visual character of the area (consideration given to color/finish) to the satisfaction of the Development Authority.
- h. A current report, completed by a certified engineer, is submitted for consideration with the application, confirming that the construction and condition of the unit meets all building code requirements, if deemed necessary by the Development Authority.
- i. Site design features are submitted for consideration with the Development Permit application, including landscaping or screening proposed to provide privacy between the Secondary Suite and adjacent properties and dwellings, if deemed necessary by the Development Authority.

SW 31-21-2 W5M;Plan 2511687 Blk 6 Lot 2



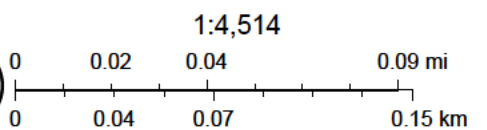
2026-04-15, 12:12:39 p.m.

- ☐ Parcels
- World Imagery
- Low Resolution 15m Imagery

High Resolution 60cm Imagery

High Resolution 30cm Imagery

Citations





DEVELOPMENT PERMIT DECISION
DATE OF DECISION: June 10, 2026

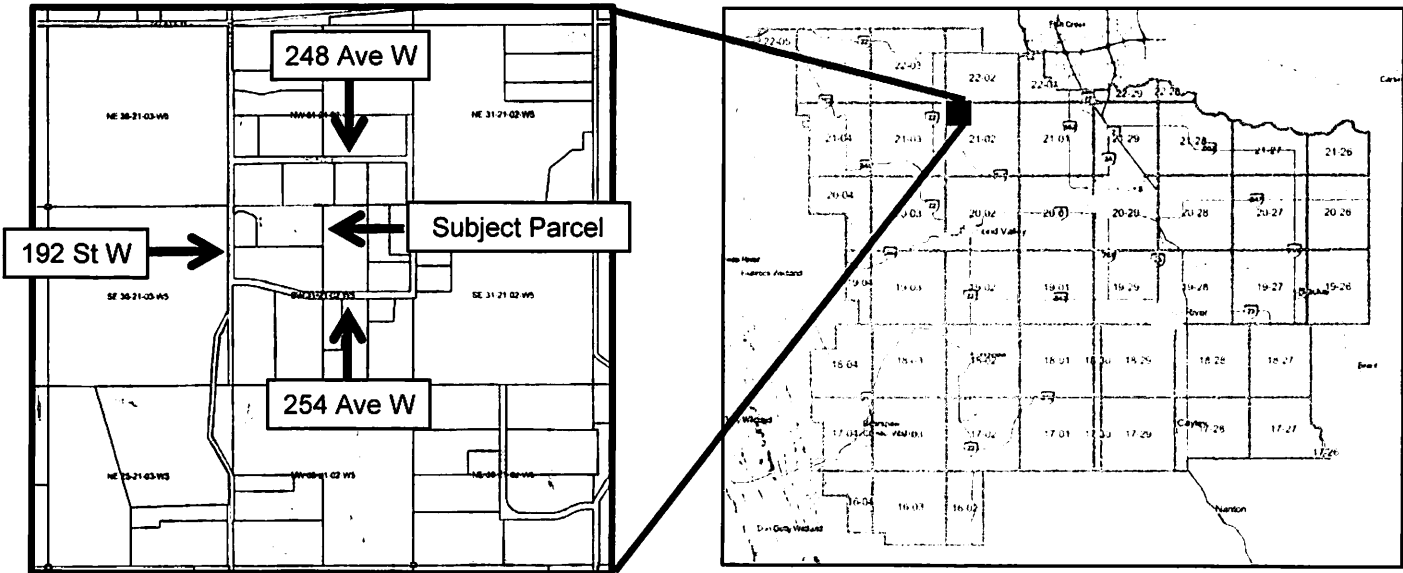
THIS IS NOT A DEVELOPMENT PERMIT OR BUILDING PERMIT. PLEASE REFER TO THE NOTES SECTION BELOW FOR ADDITIONAL INFORMATION.

APPLICATION FILE NUMBER: 26D 117
LANDOWNER(S): CHRISTINA L'AMARCA
PROPOSAL DESCRIPTION: SINGLE FAMILY DWELLING WITH DETACHED GARAGE and SECONDARY SUITE, DETACHED, ON CRA PARCEL
LEGAL DESCRIPTION: Ptn. SW 31-21-2 W5M; PLAN 2511687, BLOCK 6, LOT 2

LOCATION AND DESCRIPTION OF SUBJECT PARCEL:

The subject property is an existing 14.25 acre Country Residential Sub-district "A" parcel, located adjacent to and east of 192 St W, 150 m north of 254 Ave W, and 186 m south of 248 Ave W.

Location Map:



INTENT OF THE DEVELOPMENT PERMIT APPLICATION:

An application for Development Permit has been submitted to allow for the new construction of a +/- 1,080 sq.ft. (100.33 sq.m.) Single Family Dwelling and 1,200 sq. ft. (111.59 sq. m) Detached Garage. It further requests a Secondary Suite, Detached of +/- 850 sq.ft. (78.97 sq.m.) on a CRA parcel.

At the time of subdivision approval for this property, the Foothills Council designated the subject property as Country Residential Sub-district "A" to ensure that all restrictions and recommendations as noted within the Building Envelope, Drainage and Grading Plan, Engineered Driveway, High Water Table Testing for Foundation Designs, Slope Stability and Private Septic Treatment System.

Secondary Suite, Detached means a *Dwelling, Secondary Suite*, which is detached from and subordinate to, the principal dwelling located on the same parcel. A Secondary Suite, Detached may be a stand-alone suite or a suite within or attached to an accessory building or detached garage on the same parcel as the principal dwelling.

A *Single Family Dwelling* is a Permitted Use under the Country Residential Land Use District; however a *Secondary Suite, Detached* is a Discretionary Use. Therefore, decisions on applications for Development Permit for this use are to the discretion of the Development Officer, and subject to a 21-day appeal period.

The application for a Development Permit in accordance with the provisions of Land Use Bylaw 60/2014 of Foothills County in respect of Single Family Dwelling with Detached Garage and Secondary Suite, Detached, on the subject parcel being a portion of SW 31-21-2 W5M; Plan 2511687, Block 6, Lot 2 has been considered by the Development Officer and is **APPROVED** subject to the following.

APPROVAL DESCRIPTION:

Upon completion of the below noted pre-release conditions, this approval allows for the development and use of a portion of SW 31-21-2 W5M; Plan 2511687, Block 6, Lot 2 for:

- a. Construction of one +/- 1,080 sq. ft. (100.33 sq.m.) Dwelling, Single Family
- b. Construction of one 1,200 sq. ft. (111.48 sq.m.) Detached Garage
- c. Construction of a two-bedroom Secondary Suite, Detached having a total habitable area of +/- 850 sq. ft. (78.97 sq.m.)

to be located in accordance with the submitted and accepted Development Permit application in accordance with the professional reports as accepted by the County.

PRE-RELEASE CONDITION(S):

*Pre-release condition(s) must be complied with before the Development Permit will be signed and issued. Failure to complete the pre-release condition(s) on or before **November 10, 2026** will see this development permit decision deemed null and void, unless a time extension is issued under agreement between the Development Authority and the Applicant(s).*

1. The applicant shall submit a compliance deposit in the amount of \$5,000.00. This deposit will be refunded at such time that the involved professional(s) provide written verification that all aspects of the noted reports and accepted plans have been satisfied, and that the project has been completed.

CONDITIONS OF APPROVAL:

*The following requirements must be completed within twenty-four (24) months from the date the Development Permit is signed and issued unless a time extension is approved under agreement between the Development Authority and the Applicant(s). **Failure to complete the conditions of approval will see the Development Permit be deemed null and void.***

1. The applicant shall maintain the development in accordance with all conditions of approval and plans that have been acknowledged by the municipality to be appropriate. **Any revisions and/or additions to the use of this land shall not proceed unless appropriate approvals and permits have been obtained;**
2. The applicants shall obtain any necessary building and safety code permits and inspections from the County to the discretion of the Safety Codes Officer. The development is required to illustrate compliance with the requirements of the Alberta Building, Plumbing, Electrical, and Fire Codes at all times;
3. It is the landowner's responsibility to ensure that all considerations and recommendations are adhered to as identified within the following accepted documents:
 - a. Developable Area by Osprey Engineering Inc., signed on April 15, 2025 by Michael A. Kitchen, P.Eng.;
 - b. Drainage and Grading by Osprey Engineering Inc., signed on March 21, 2025 by Michael A. Kitchen, P.Eng.;
 - c. Engineered Driveway Plan by Osprey Engineering Inc., signed on April 15, 2025 by Michael A. Kitchen, P.Eng.;
 - d. Groundwater for Foundation by Osprey Engineering Inc., signed on March 21, 2025 by Michael A. Kitchen, P.Eng.;
 - e. Private Sewage Treatment System (PSTS) Level 3 Assessment by Osprey Engineering Inc., signed on October 27, 2023 by Michael A. Kitchen, P.Eng.;
 - f. Slope Stability Assessment by Factor Geotechnical, signed on April 3, 2025 by Josh Clark, P.Eng.;
4. Prior to the County acknowledging completion of the development, the applicant shall obtain a letter from a designated professional confirming the development adheres to all comments and recommendations as provided within the above accepted documents, including Developable Area, Drainage and Grading, Engineered Driveway, and Slope Stability;
5. It is the applicant's responsibility to obtain and properly post independent County address(es) for the principal dwelling and secondary suite prior to occupancy. Please contact the County's GIS Department to be assigned new address(es) and obtain information regarding address signage. The applicants are advised that additional addressing may result in changes to the existing mailing address for the property;
6. The applicant shall provide written notification to the Development Authority upon completion of the development, as approved herein.

ADVISORY REQUIREMENTS:

The following requirements are provided by Foothills County to inform the applicant(s) and landowner(s) of their necessity. It is the responsibility and liability of the applicant(s) and landowner(s) to ensure adherence with these requirements for the life of the development.

1. The applicant shall maintain the development in accordance with all conditions of approval and plans that have been acknowledged by the municipality to be appropriate. **Any revisions and/or additions to use of this land shall not proceed except under benefit of appropriate approvals and permits;**
2. Development and use of the land shall comply with all requirements of the applicable Building, Safety and Fire Codes at all times.
3. A minimum of two parking spaces located entirely within the boundaries of the legally titled parcel shall be available for use by the occupant(s) of the Secondary Suite, Detached, at all times;

4. Emergency address signage shall be installed and maintained for the life of the development;
5. The applicants are responsible for complying with the requirements of Alberta Health Services, including but not limited to the regulatory requirements under the Alberta Public Health Act, Housing Regulation 173/99 and the Minimum Housing and Health Standards (MHHS);
6. As per the executed Declaration of Understanding submitted with the application, it is the landowners' responsibility to ensure that water servicing and sanitary sewer servicing are adequately provided, maintained, and operated; in compliance with all pertinent regulatory requirements, for the life of the development;
7. The Secondary Suite, Detached, shall not be operated as a Tourist Home/short-term vacation rental unit, nor shall the Secondary Suite, Detached be used for the operation of a Bed and Breakfast;
8. All structures shall be located as to adhere to Municipal setback requirements from the boundaries of the legally titled property. No variance for yard setbacks has been considered under this approval;
9. No topsoil shall be removed from the subject property and natural drainage of the property must be maintained. Alterations to natural drainage may proceed only under the authorization of an issued Development Permit for Lot Grading;
10. All installation(s) of exterior lighting must adhere to the guidelines and technical specifications as outlined within the Dark Sky Bylaw;
11. The issuance of a development permit by the County does not relieve the landowners of the responsibility of complying with all other relevant County bylaws and requirements, nor excuse violation of any provincial or federal regulation or act which may affect use of the land;
12. The applicants shall be responsible for payment of any professional costs including legal fees that may be incurred by the County with respect to the implementation of this permit;

NOTES:

1. **This is not a Building Permit.** Construction practices and standards of construction of any building or any structure authorized by the Development Permit, once signed and issued, must be in accordance with the Building and Safety Codes Permits. An application must be made for all required Building and/or Safety Codes Permits.
2. **This is not a Development Permit.** The Development Permit may be signed and issued upon completion of the 21-day appeal period or submission of the executed appeal notification period waiver; should no appeals be received, and completion of all Pre-Release Conditions (if any). Development can not proceed until this permit has been signed and issued.
3. Notification of this Development Permit Decision will be advertised in two issues of the Western Wheel and circulated to area landowners (according to County Records at this time) within the subject quarter-section and for one-half mile surrounding the subject parcel. Development Permit Notices can also be viewed on our website, www.foothillscountyab.ca.
4. This Development Permit Decision is subject to a 21-day appeal period. Pursuant to Sections 685(1) and 685(3) of the Municipal Government Act, a person affected by this decision has a right of appeal.
5. The Development Permit, once signed and issued, shall thereafter be null and void if the development or use is abandoned for a period of six months.
6. The conditions of this Development Permit Decision must be met and adhered to at all times. Fines and/or Enforcement action may occur if operating outside of the Development Permit Decision.