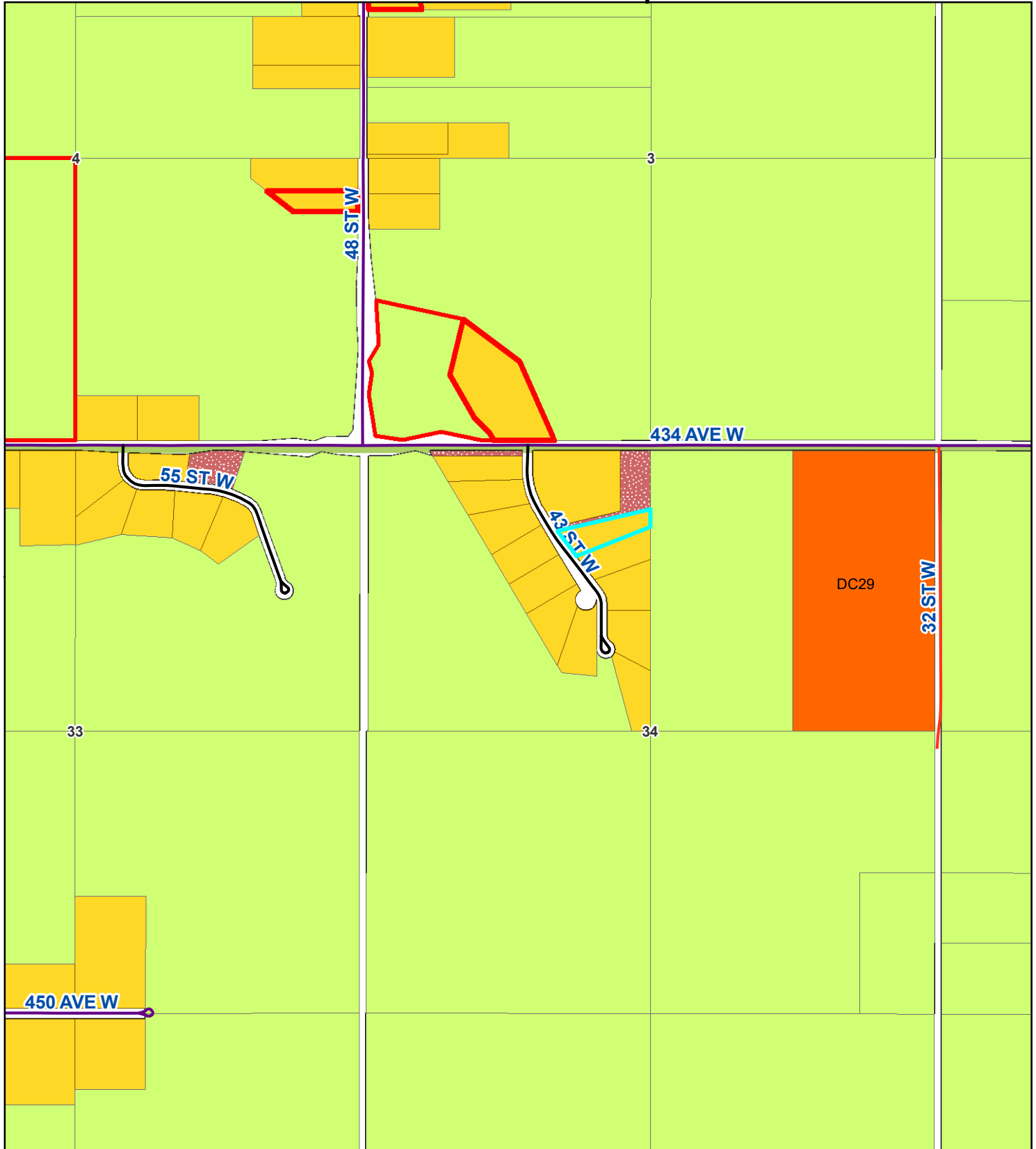


NW 34-19-01 W5M Land Use Map



Legend

 Townships

 Parcels

Date Printed: 2025-08-22

1:15,000

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Data Sources Include Municipal Records and AltaLIS.
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Application for Development Permit

Land Use Bylaw No. 60-2014

Foothills County

www.foothillscountyab.ca

309 Macleod Trail, Box 5605, High River, AB T1V 1M7 • Tel: 403-652-2341 Fax: 403-652-7880

THIS IS NOT A BUILDING PERMIT. Construction practices and standards of construction of any building or any structure authorized by this Development Permit must be in accordance with the Building Bylaw. An application must be made for a Building Permit under the requirements of the Building Bylaw and a Permit must be secured before any work or construction on any building may commence or proceed.

FOR OFFICE USE ONLY

Fee Submitted: 600 Application No: 25D 151
 Receipt No.: 439099 Tax Roll No: 1901345100
 Date Received: May 29 2025 Date Deemed Complete: June 17 2025

PART 1 APPLICANT/AGENT INFORMATION

Applicant's Name: Jeremy Evans
 Email: [REDACTED]
 Applicant's Mailing Address: [REDACTED]
 Telephone: [REDACTED]
 Legal Land Description: Plan 081 2913, Block 2, Lot 3, LSD _____,
 Quarter NW 34, Section 34, Township 19, Range 1, West of the W5 Meridian.
 Registered Owner of Land: Jeremy Evans & Joyce Evans
 Registered Owner Mailing Address: [REDACTED]
 Email: [REDACTED] Telephone: [REDACTED]
 Interest of Applicant if not owner of site: _____

PART 2 PROPOSED DEVELOPMENT

I/We hereby make application in accordance with the plans and supporting information submitted herewith. (which forms part of this application). Please give a brief description of the proposed development, including name of development where applicable.

To construct a greenhouse on the south side of the property, located behind the existing garage. Due to the location of underground utilities—including the septic system, cistern, electrical lines, and water service to the back pasture—it is not feasible to meet the standard 15-meter setback. Therefore, I am requesting a relaxation of the setback requirement to allow for appropriate placement of the structure

15-meter setback requirement from the property line to accommodate this structure - Foundation placement on Real Property Report
 Request for setback relaxation on a 3 x 6 meter horse shelter on the north side of the property - Marked Shelter on Real Property Report
 request for setback relaxation on a 1.48 x 2.5 meter 5 by 3-foot chicken coop - Marked Chicken Coop on Real Property Report

PART 3 SITE INFORMATION

Area Of Lot: (In Acres Or Hectares) 4 acres

Size Of Proposed Building: 29' 4.75" Diameter Dome Height: 19' 11.625"

Is There A Dwelling (Residence) On The Site: Yes xxx No If Yes, How Many? 1

Utilities Presently On Site: gas, electrical

Are There Sour Gas Or High Pressure Facilities On Site? no

Utilities Proposed: Electrical to green house

Other Land Involved In Application:

DISCLAIMER: Please note that the personal information collected on this form is authorized under the Municipal Government Act and is required for the purpose of the County's Planning and Development processes. This information may also be shared with appropriate government agencies and may also be kept on file by those agencies. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection and use of this information, please contact the FOIP Coordinator at 403-652-2341.

PART 4 DEVELOPMENT

Specify other supporting material attached that forms part of this application. (e.g., Site Plan, Plot Plan, Architectural Drawings, etc.):

Real Property Report

Eng Sealed Drawing for Green House Foundation

Dome Building Plans

Estimated Date of Commencement: June 1, 2025 Estimated Date of Completion: October 30, 2025

I, Jeremy Evans

hereby certify that I am:

☒ The Registered Owner; or

☐ Authorized to act on behalf of the Registered Owner

Date: May 29, 2025

RIGHT OF ENTRY

I, being the owner or person in possession of the above described land and any building thereon, hereby consent to an authorized person designated by Foothills County to enter upon the land for the purpose of inspection during the processing of this application.

May 29, 2025

Date

Jeremy Evans

Signature of Owner or Authorized Agent

Digitally signed by Jeremy Evans
Date: 2025.05.29 05:58:57 -06'00'

FOR OFFICE USE ONLY

1. Land use district: Country Residential
2. Listed as a permitted/discretionary use: Discretionary
3. Meets setbacks: Yes ☒ No If "NO", deficient in 25% (3.75m) relaxation requested
4. Other information: _____
- _____
- _____
- _____

PART 5 DECISION

Date of Decision: July 30, 2025 Date Application Accepted: _____

This Development Permit Application is:

- ☐ APPROVED
- ☒ APPROVED subject to the attached conditions
- ☐ REFUSED for the attached reasons

Notice of Decision Advertised: July 30 & August 6, 2025

Date of Issuance of Development Permit: _____

Development Officer

NOTE: Development must commence within 12 months of the date of the Date of Issuance of the Permit and be completed within 24 months of the Date of Issuance, unless otherwise stated in the Development Officer's decision.

ALBERTA LAND SURVEYOR'S
REAL PROPERTY REPORT

SUBJECT PROPERTY:
LOT 3, BLOCK 2, PLAN 081 2913
434054 43RD STREET WEST, FOOTHILLS COUNTY

ALBERTA LAND SURVEYOR'S CERTIFICATION:
I hereby certify that this Report, which includes the plan and related survey, was prepared and performed under my supervision, direction, and control and in accordance with standards and rules for the practice of surveying prescribed by the Alberta Land Surveyors' Association. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- the plan illustrates the boundaries of the Property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way affecting the extent of the title to the Property;
- the improvements are entirely within the boundaries of the Property;
- no visible encroachments exist on the property from any improvements situated on an adjoining property;
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of the Property.

PURPOSE OF REPORT:
This Report and plan has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose(s) of (a land conveyance, support of a subdivision application, a mortgage application, a submittal to the municipality for a compliance certificate, etc). Copying is permitted only for the benefit of those parties.
Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on the plan.
Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries (e.g., for fencing) because of the risk of misinterpretation or measurement error by the user.
The information shown on this Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements because subsequent development changes on the Property will not be reflected on the Report.

- NOTES :
- Title Information is based on a title search dated May 26, 2025, C. of T. No. 231 361 012.
 - The survey was originally performed on July 7, 2023 & updated on May 16, 2025.
 - Ties to the property lines are at right angles or radial to the curve and are from the exterior walls unless otherwise shown.
 - Fences are within 0.20 metres of the property line unless otherwise noted.
 - Eaves are dimensioned to the line of fascia.
 - All measurements are in metres.
 - Property is subject to the following instruments:

- 751 013 551 - Caveat Re: See Caveat
- 031 379 257 - Utility R/W - ATCO Gas & Pipelines Ltd.
- 081 210 562 - Utility R/W - Plan 081 2914
- 081 210 564 - Restrictive Covenant
- 101 108 124 - Amending Agreement Affects Instrument: 081 210 564

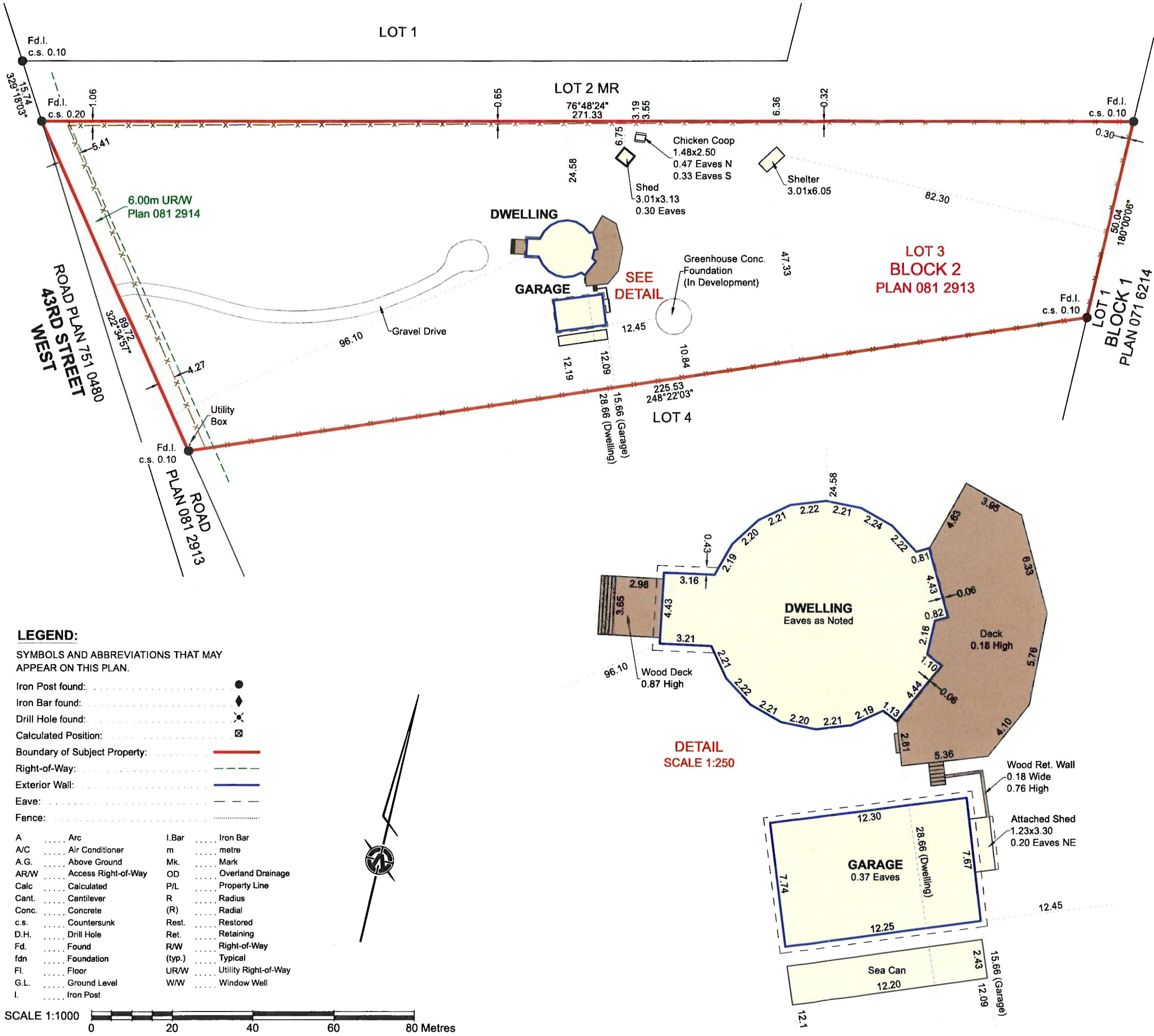
Dated at Okotoks, Alberta,
May 27, 2025.


M. Kent Croucher, A.L.S.

This document is not valid unless it bears the signature of an Alberta Land Surveyor (in blue ink) and a Absolute Surveys Inc. permit stamp (in red ink).



© Copyright Absolute Surveys Inc., 2025		0		Issued (Ref. Job # 23-0404)	May 27, 2025	KRC/HK/JR
REV.				COMMENT	DATE	INITIALS
				CAD File : 25-0270RPR		
				Job No.: 25-0270		



- LEGEND:
- SYMBOLS AND ABBREVIATIONS THAT MAY APPEAR ON THIS PLAN.
- Iron Post found: ●
- Iron Bar found: ◆
- Drill Hole found: ⊗
- Calculated Position: ⊠
- Boundary of Subject Property: —
- Right-of-Way: - - -
- Exterior Wall: —
- Eave: - - -
- Fence: - - -
- A Arc
- A/C Air Conditioner
- A.G. Above Ground
- AR/W Access Right-of-Way
- Calc. Calculated
- Cant. Cantilever
- Conc. Concrete
- c.s. Countersunk
- D.H. Drill Hole
- Fd. Found
- fdn Foundation
- Fl. Floor
- G.L. Ground Level
- I. Iron Post
- I.Bar Iron Bar
- m metre
- Mk. Mark
- OD Overland Drainage
- P/L Property Line
- R Radius
- (R) Radial
- Rest. Restored
- Ret. Retaining
- R/W Right-of-Way
- (typ.) Typical
- UR/W Utility Right-of-Way
- W/W Window Well

SCALE 1:1000

0 20 40 60 80 Metres

Brittany Smith

From: Jeremy Evans [REDACTED]
Sent: June 16, 2025 10:19 AM
To: Brittany Smith
Subject: Re: Development Permit Application - Notice of Incomplete

Follow Up Flag: Follow up
Flag Status: Flagged

Good Morning Brittany,

Thank you for your email and for taking the time to speak with me on Friday. I truly appreciate your guidance in outlining the outstanding items and helping me better understand the requirements for my application.

Setback Clarification

Following our conversation and a thorough review of the guidelines, I'd like to propose an alternative for your consideration:

Would it be acceptable if I were to cut back the existing concrete pad to meet the 11.25-meter setback requirement, and then proceed with constructing the dome structure on that adjusted footprint? I've attached a photo for reference. Please let me know if this approach would be considered acceptable, or if additional changes are needed.

Intended Use of Dome Structure

The dome will be used strictly for personal purposes—specifically for growing vegetables and flowers. No commercial or business activity will take place within the structure.

Sea-Can Screening Confirmation

The sea-can remains in use for personal storage, in accordance with Development Permit 20D 102. A row of spruce trees has been planted along the fence line in the area, which was intended to satisfy the screening requirement. You can see this in the attached photo taken near the proposed dome location. Please advise if this meets the previous condition, or if further screening may be required.

Thank you again for your time and support. I'm committed to working within the County's guidelines and ensuring this application meets all necessary conditions. Please let me know if this proposed revision would allow the permit to proceed without the need for an appeal. I'm happy to provide any additional information or make further adjustments as needed.

Warm regards,

Jeremy Evans

Speaker | Survivor | Storyteller

🔑 **The Grizzly Dude**



Brittany Smith

From: FC_Planning
Sent: June 18, 2025 9:07 AM
To: [REDACTED]
Cc: Brittany Smith
Subject: Notice of Complete Application – Development Permit 25D 151

Good Morning,

Re: Notice of Complete Application – Development Permit 25D 151
Ptn: NW 34-19-1 W5M; Plan 0812913, Block 2, Lot 3
Relaxation of Setbacks for a Proposed Structure and Relaxation of Setbacks to Existing Structures

Section 683.1 of the Municipal Government Act requires the Development Authority, within 20 days after the receipt of an application for a development permit, to determine whether the application is complete or incomplete. This letter is being sent to you to serve as a notice of acknowledgement that the application as noted above is considered **complete** as of June 17, 2025

Please note, this is not an approval of your permit, but indicates that your application has been accepted by the County and will now proceed to the next stages of the development permit process.

Notwithstanding the above, in the course of processing your application, we may request additional information or documentation from you that is considered necessary to review your application.

If you have any questions or concerns regarding the information in this letter, please contact **Brittany Smith** at Brittany.Smith@foothillscountyab.ca.

Regards,

Foothills County
Planning & Development

FC_Planning@foothillscountyab.ca

Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7

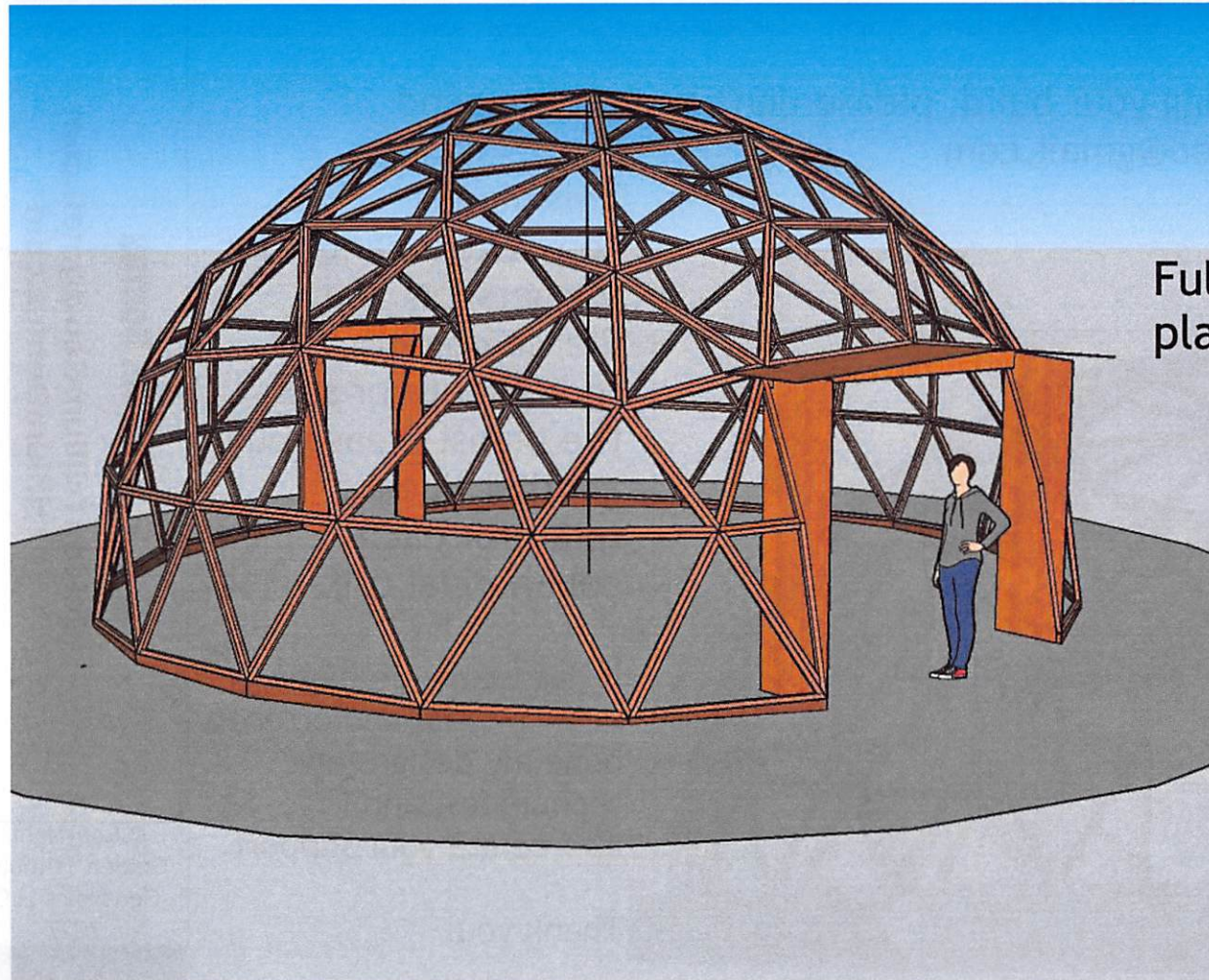
P. (403) 652-2341 | F. (403) 652-7880



W. www.foothillscountyab.ca

Trillium Domes Presents...

30' Diameter 1/2 4v Dome



Full wood-working
plans

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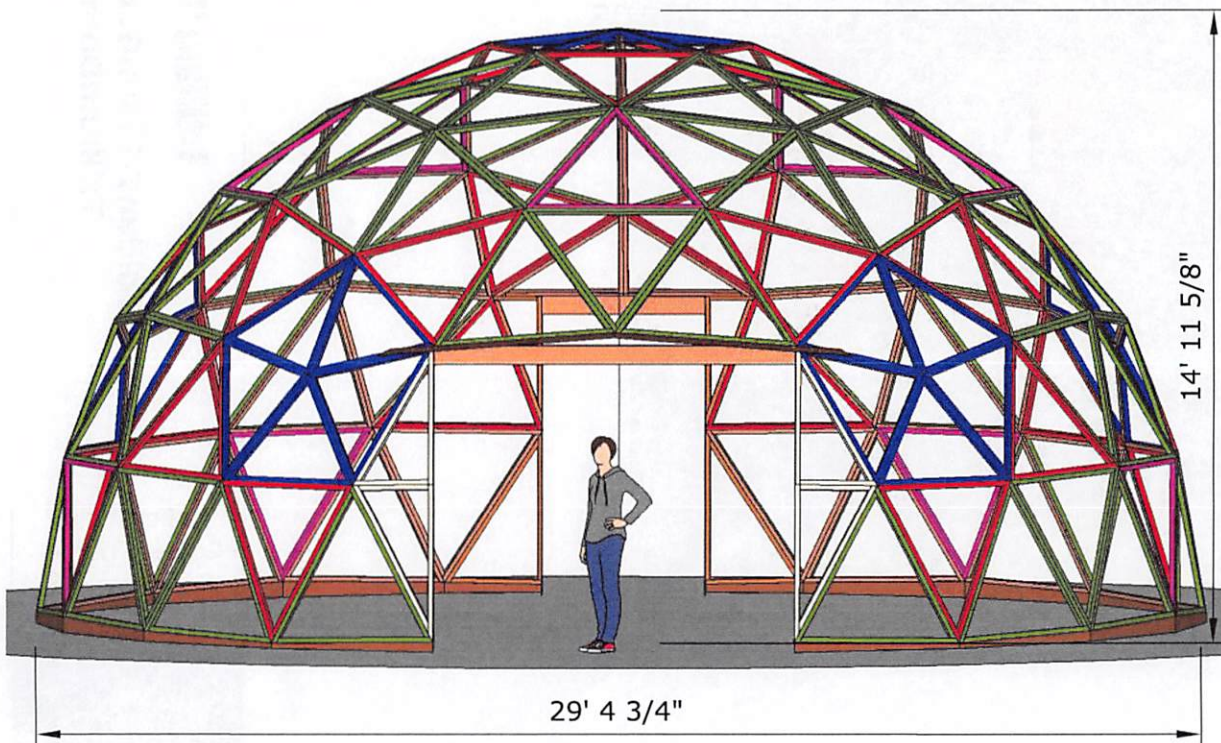
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First thing's first...

Step by step video:
<https://youtu.be/Sl9fEp-27EM>

Welcome to the world of dome building! With these plans you can make a unique structure with beautiful wooden joinery, no matter your skill level. This plan contains the essential measurements and angles that are the "nuts and bolts" of this particular geometric shape, along with some brief descriptions on the techniques of dome building in this method.

If you have questions regarding your build, please don't hesitate to send them my way at GoldenTrilliumGeo@gmail.com



This plan is copyrighted and only for personal use. Please do not copy, redistribute or sell the plans. Please buy another license (plan) for each commercial use.

It has taken me many years of trial and error to hone my designs and techniques, and I appreciate your support.

Thank you!



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TrilliumDomes.com

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Tools and Materials

What you will need:

Tools

- Tape Measurer
- 4' straight edge or chalk line
- Drill (and impact driver is also very nice)
- Circular saw or Jigsaw
- Miter saw (pref w/ bevel, Dual bevel better)
- Counter Sink drill bit
- 2-6 quick clamps (more the merrier)
- Table Saw
- Stapler (preferably pneumatic / electric)
- Utility knife
- Hand saw (for wood)
- Digital angle finder

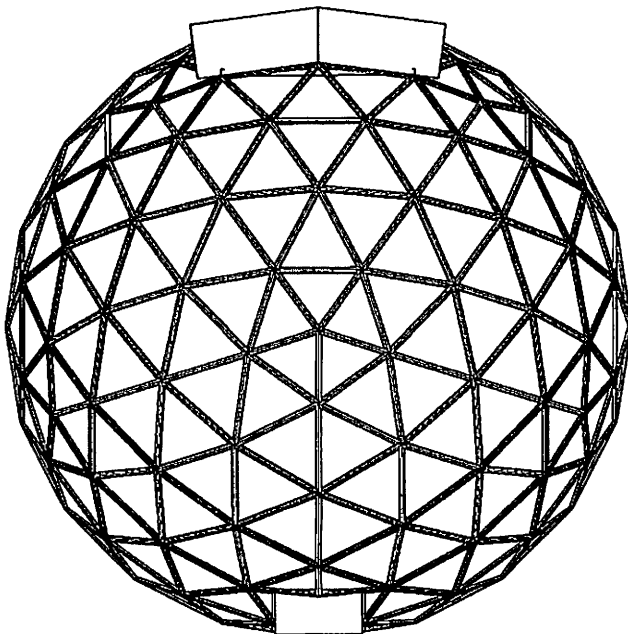
Materials

- (3) sheet 3/4"X8' AC plywood
- (56) 2x6x10 Kiln Dried
- (9) 2x4x10 Pressure Treated
- ~1400 sq ft greenhouse plastic
- ~1000' greenhouse seam tape
- 1000 2" screws
- 500 3" screws
- (2) Box of staples
- (3) gallons paint/stain
- Paint brush/roller/sprayer



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Exploded View

Component list

444 struts

81 Hexagon panels
(not including
windows)

25 Pentagon Panels

28 Tri 1

9 Tri 2

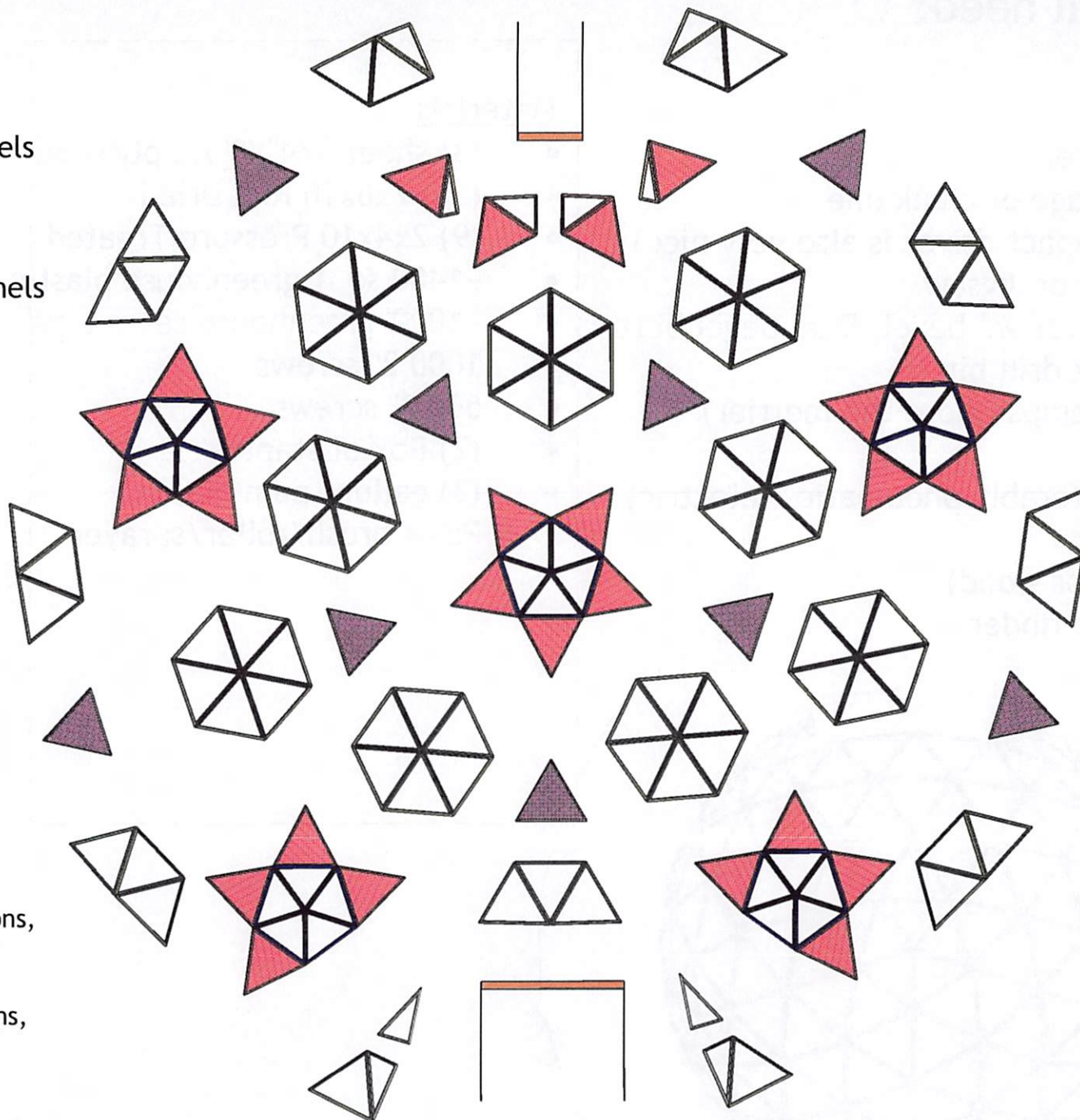
Big Door:
1 pair upper
1 pair lower
mirrored special
panels

Man Door:
1 pair upper
1 pair mid
1 pair lower
mirrored special
panels

8 Short base sections,
mirrored

10 tall base sections,
mirrored

2 special base
sections for man door,
mirrored

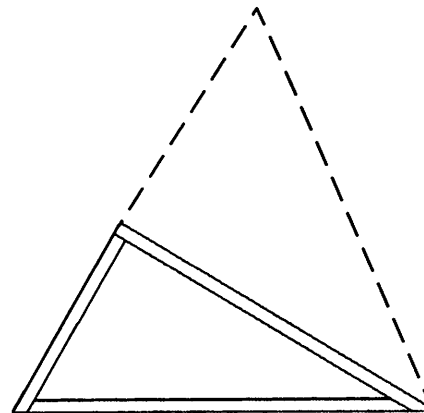
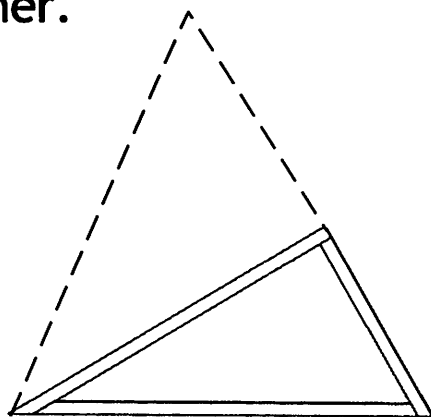


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Model Specific Notes

- This model is best built using 2x6's ripped in half to create timbers 1 1/2" x 2 3/4". This ensures that your stock is straight, as it can be difficult to find straight 2x3 material.
- The tapered base sections are shorter for this version and can be harder to rip. If you are unfamiliar with how to create the tapered bevel, I would suggest looking up how to rip with a track saw or shooter board to create consistent pieces. My preferred method is to create a taper jig for the table saw. Quite simple to do and there are many videos on YouTube that show how.
- Each Special Door panel is a partial of another panel. They are cut away to make space for the doorway. Each special panel is one of a mirrored pair. These panels must be made to mirror each other.

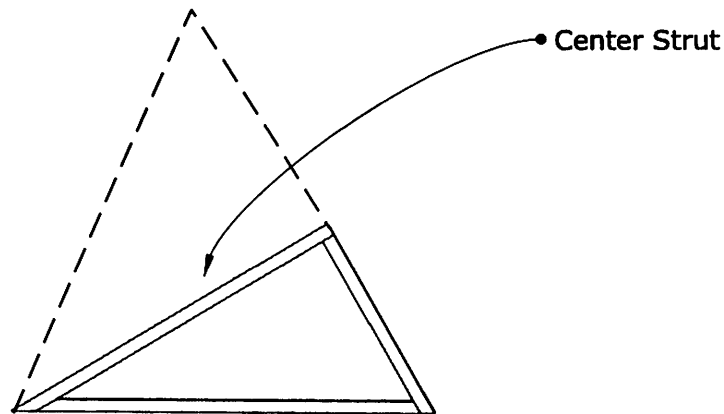


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Model Specific Notes Cont.

- All struts are ripped to the same bevel angle. The only exception is the center struts of the special door panels. These have a specific angle to allow the doorway to remain parallel. I tend to run the center strut all the way through.



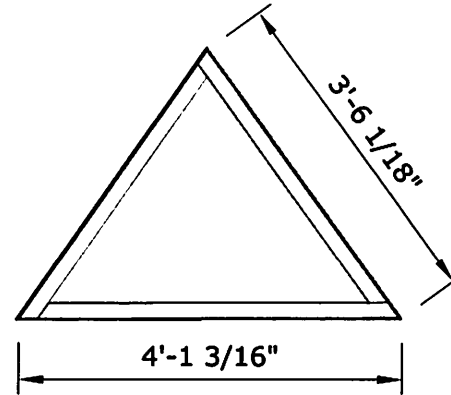
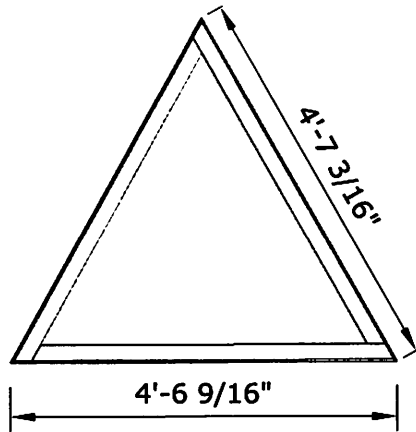
- You can forgo one of the doorways or switch their positions in the dome. Just follow the pattern and replace full panels in place of the partial ones.
- Components given for the door cards are to stabilize and give you something to frame to. Generally you'll put the door cards in and proceed to frame a doorway like normal



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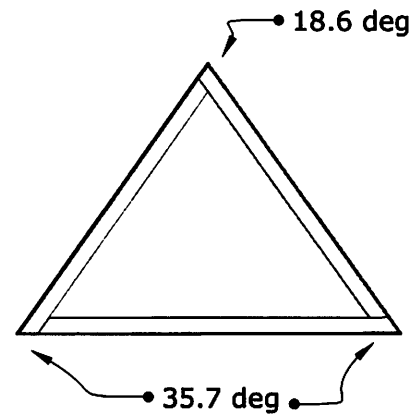
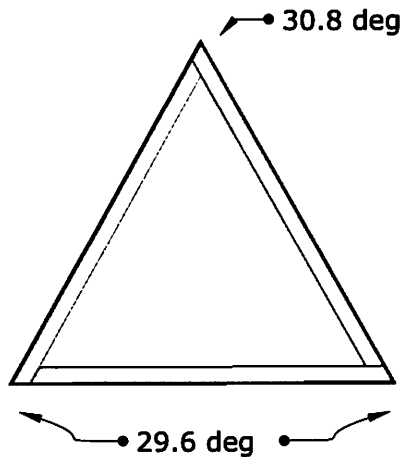
Panel Dimensions



81
Hex

Panel Miter Angles (off 90 deg)
This is what you set your saw to

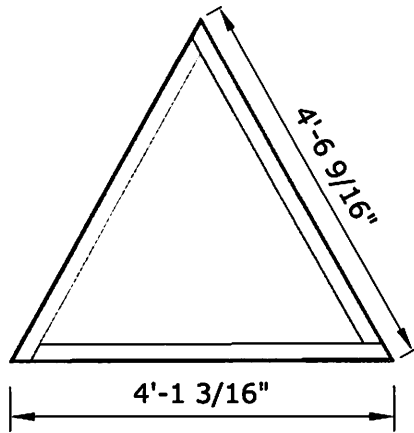
25
Pent



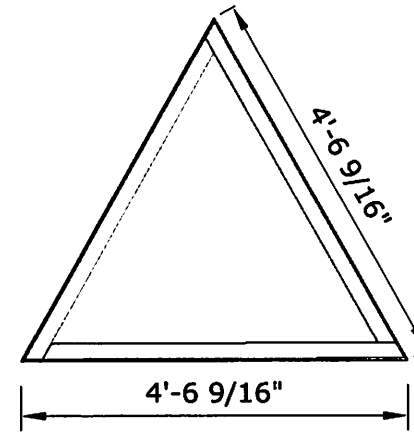
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Panel Dimensions cont.

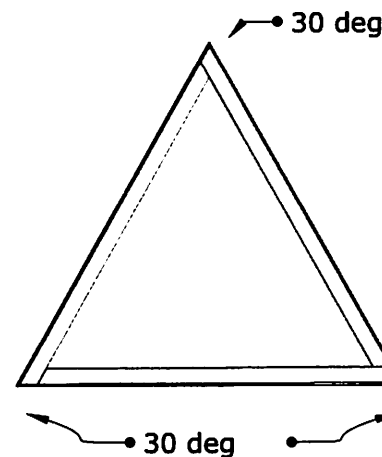
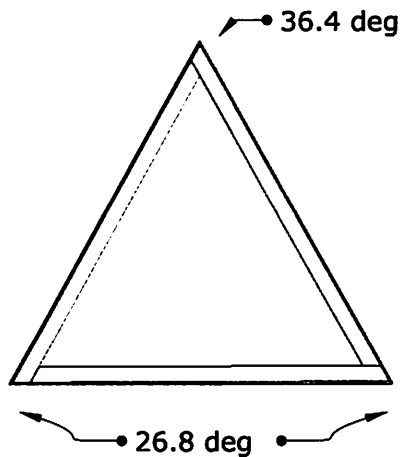


28
Triangle 1



9
Triangle 2

Panel Miter Angles (off 90 deg)
This is what you set your saw to



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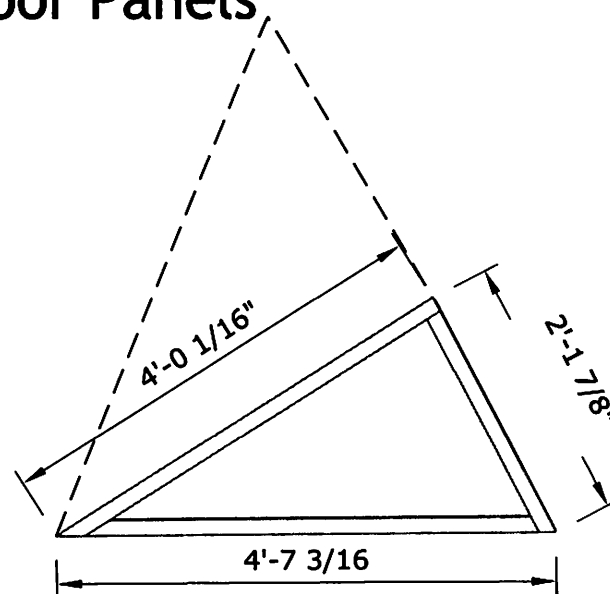
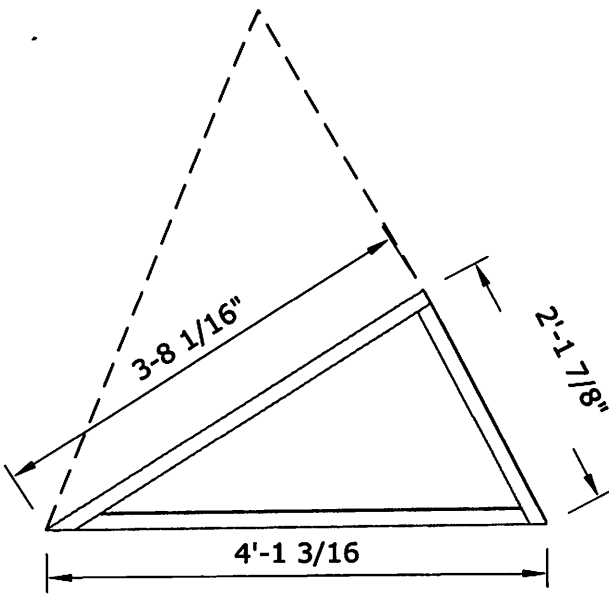
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Special Door Panels



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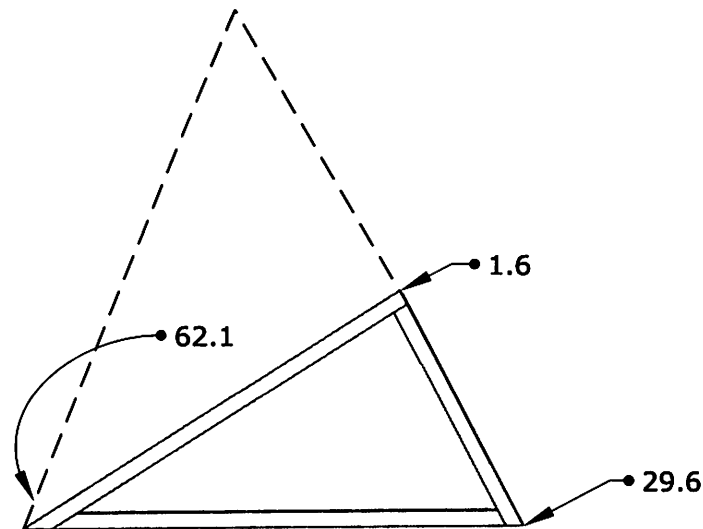
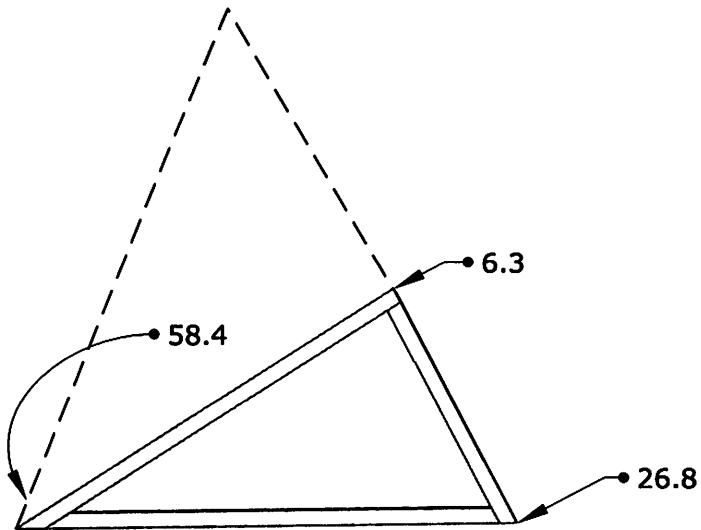
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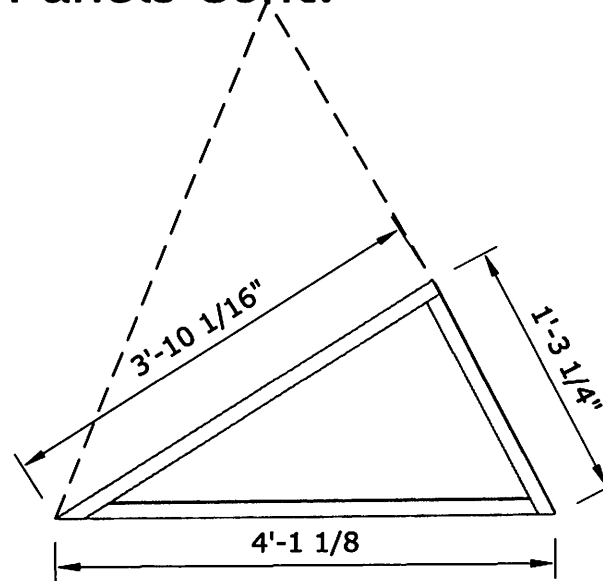
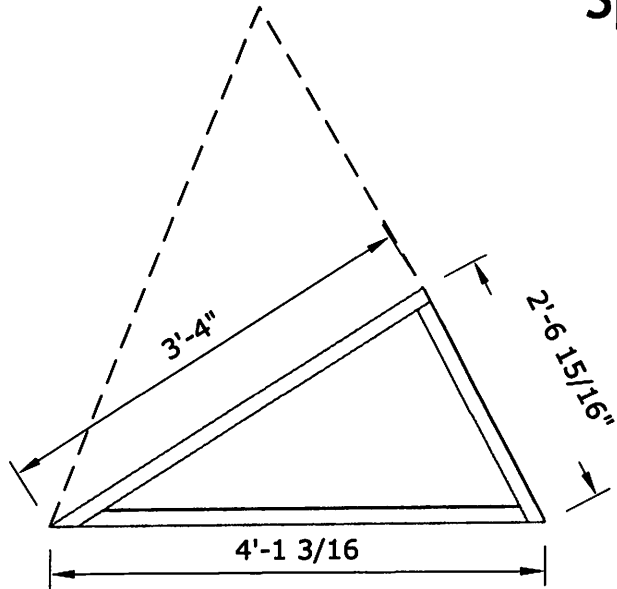
mirrored pair
 Upper Big Door
 Partial Triangle 1

Panel Miter Angles (off 90 deg)
 This is what you set your saw to

Mirrored pair
 Lower Big Door
 Partial Hex



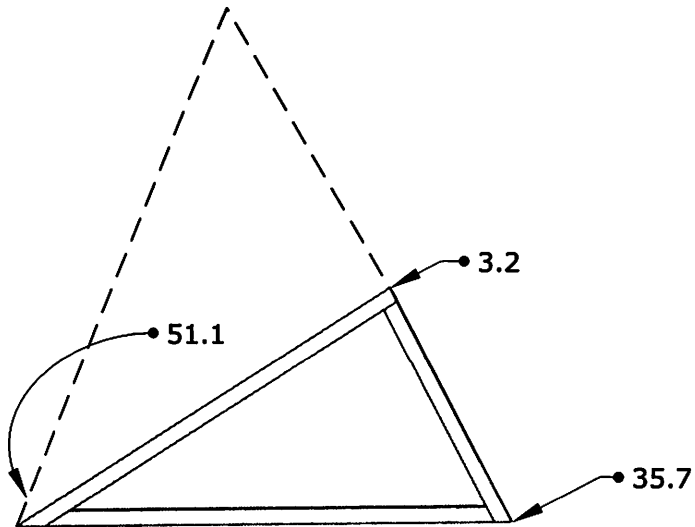
Special Door Panels Cont.



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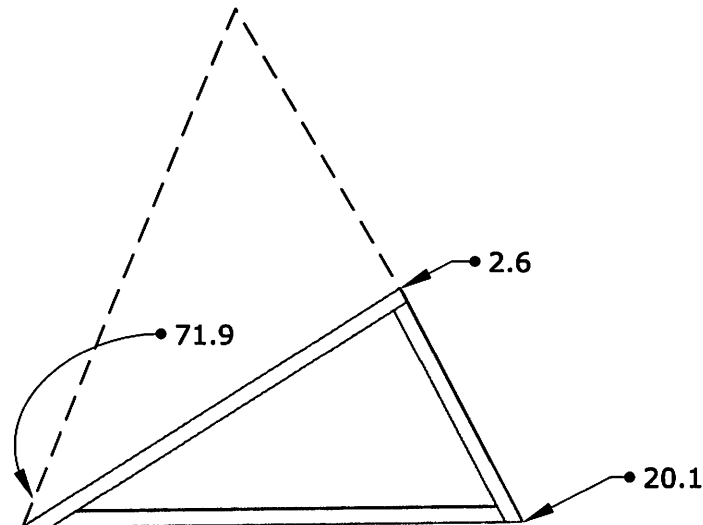
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mirrored pair
Upper Man Door
Partial pent



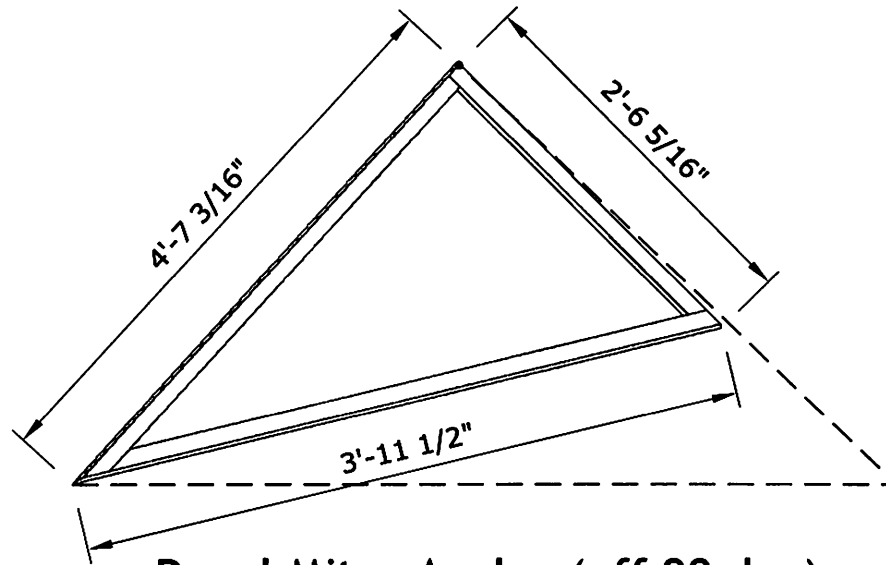
Panel Miter Angles (off 90 deg)
This is what you set your saw to

Mirrored pair
Mid Man Door
Partial Pent



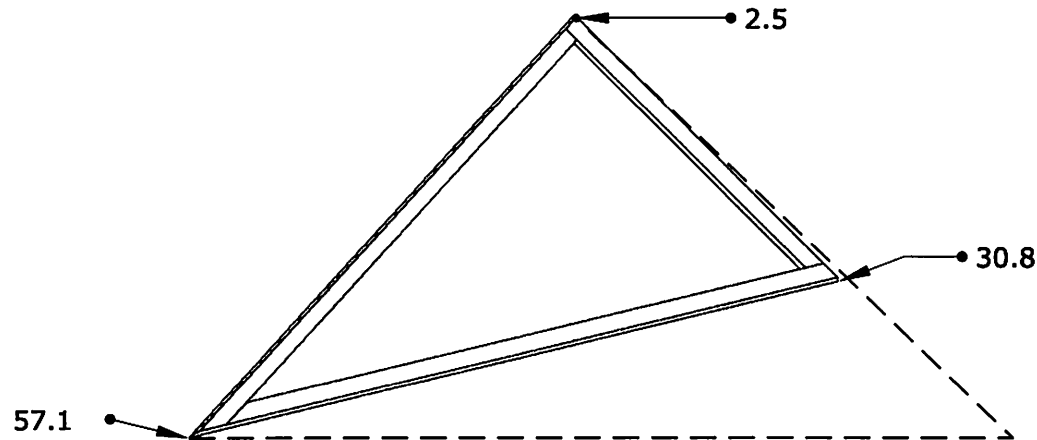
Special Door Panels Cont.

Lower Man Door
Partial of Hex
Mirrored Pair



Panel Miter Angles (off 90 deg)

This is what you set your saw to

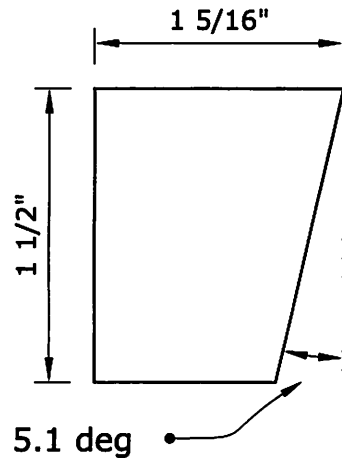


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Member Cross Sections and Bevels

Panel Strut



Center Strut Bevels For Special Door Panels

Upper man door: 5.1 deg
Mid Man door: 5.1 deg
Lower man door: 9 deg

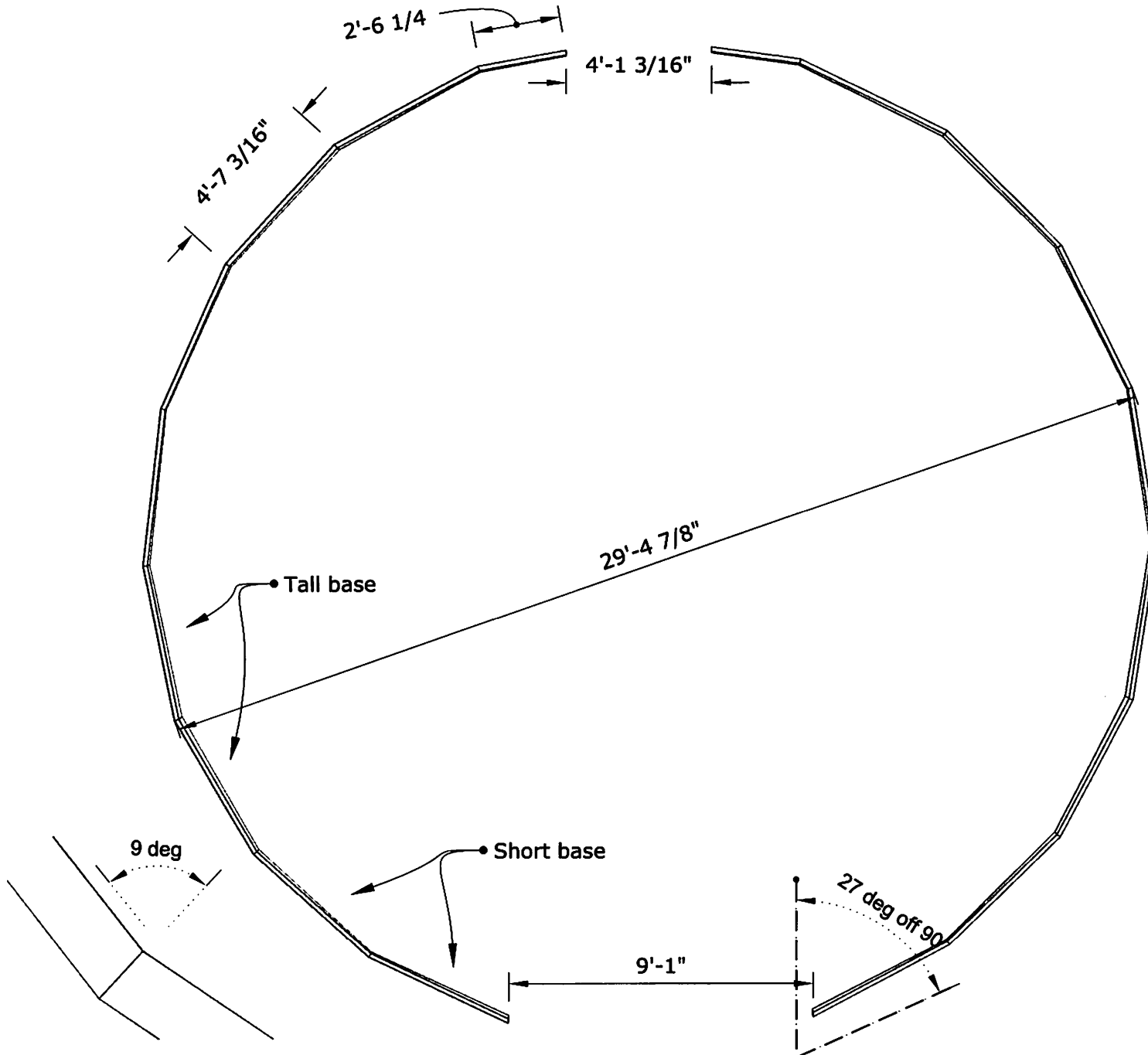
Big Door: 18.5 deg



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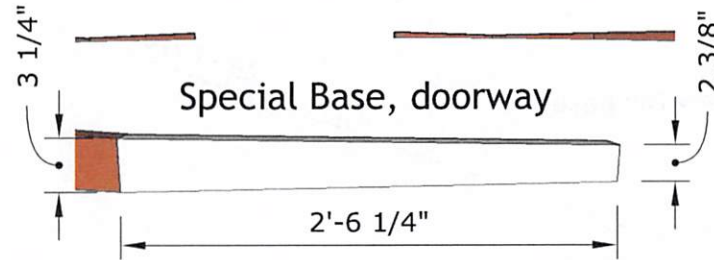
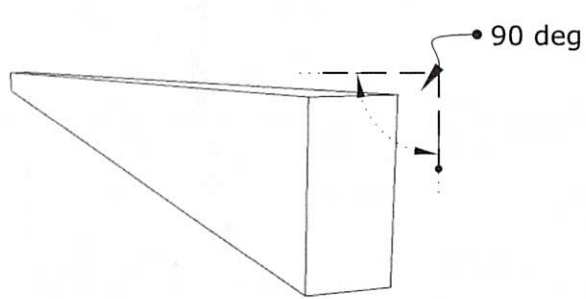
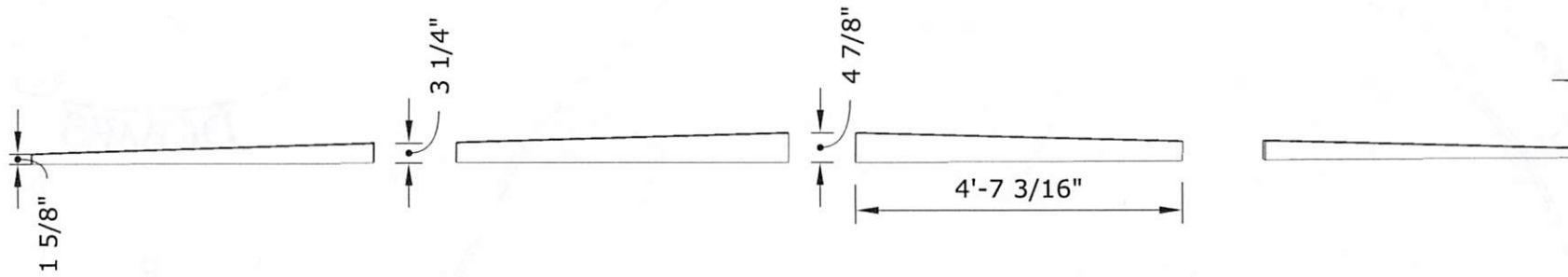
Base Layout



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Base Sections

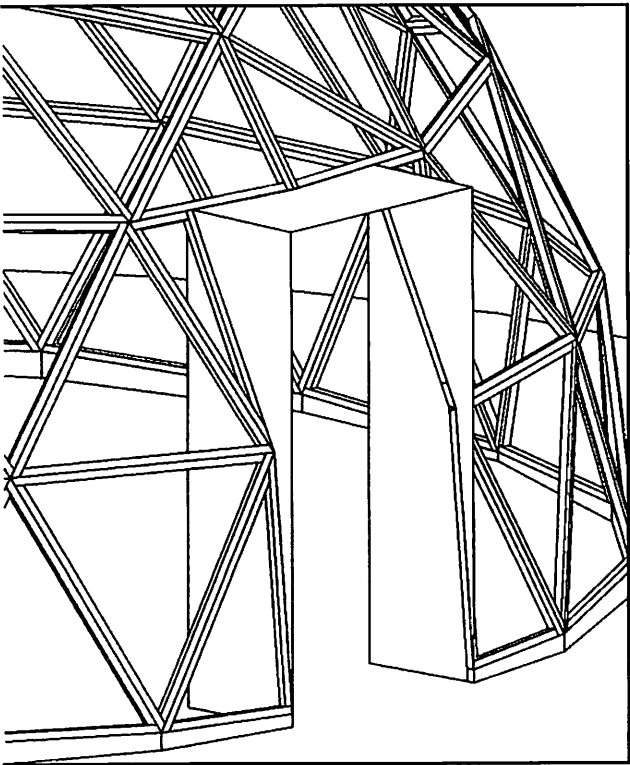


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- 8 Short base sections, mirrored
- 8 tall, mirrored
- 2 special, mirrored

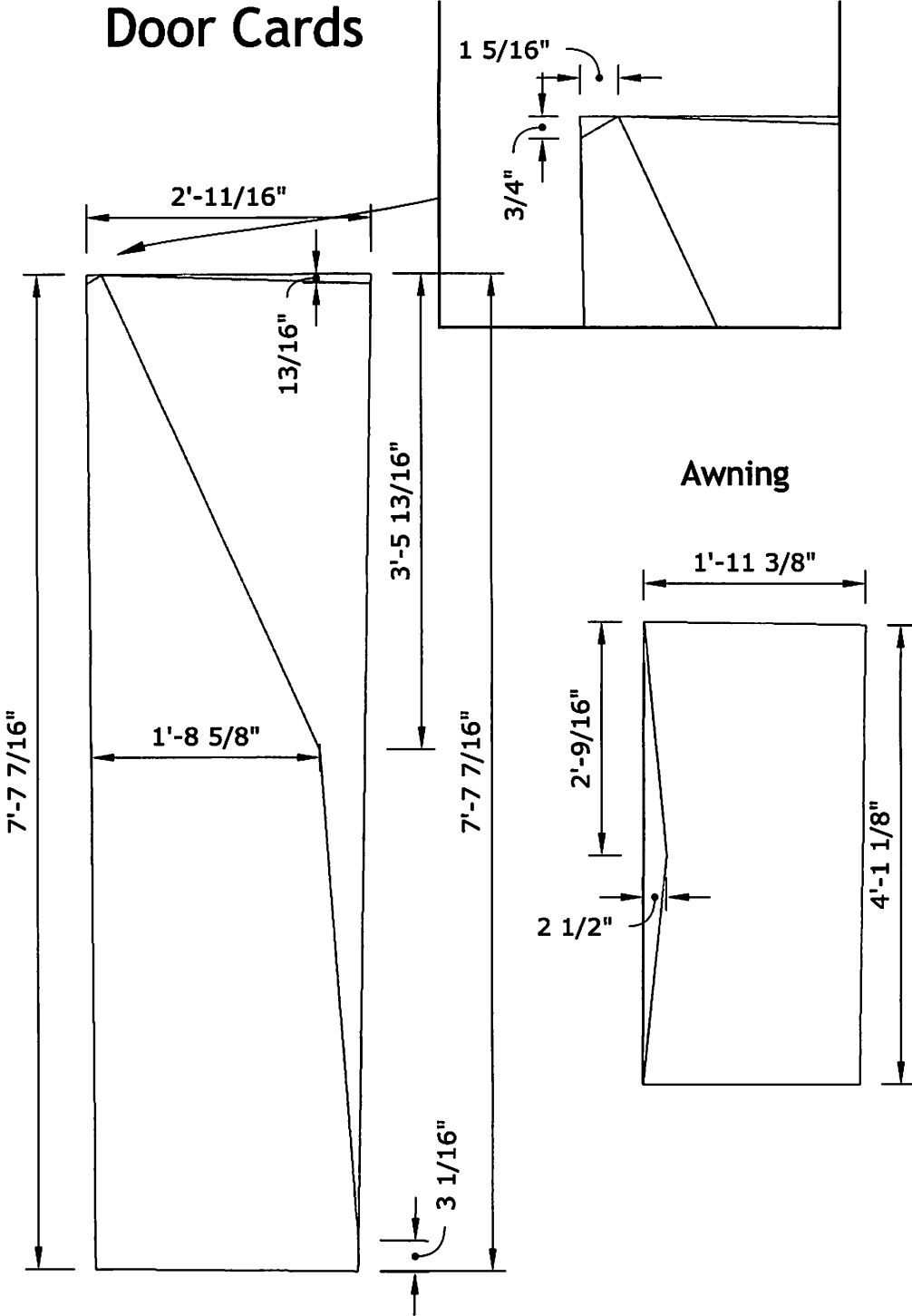
You can cut the inside line to make the card flush with the dome frame or cut the outside line to have the card extend from the dome frame and create an awning



Door Opening Dimensions
(Before Cards)

4' 1 3/16 wide
7' 7 7/16 tall

Door Cards

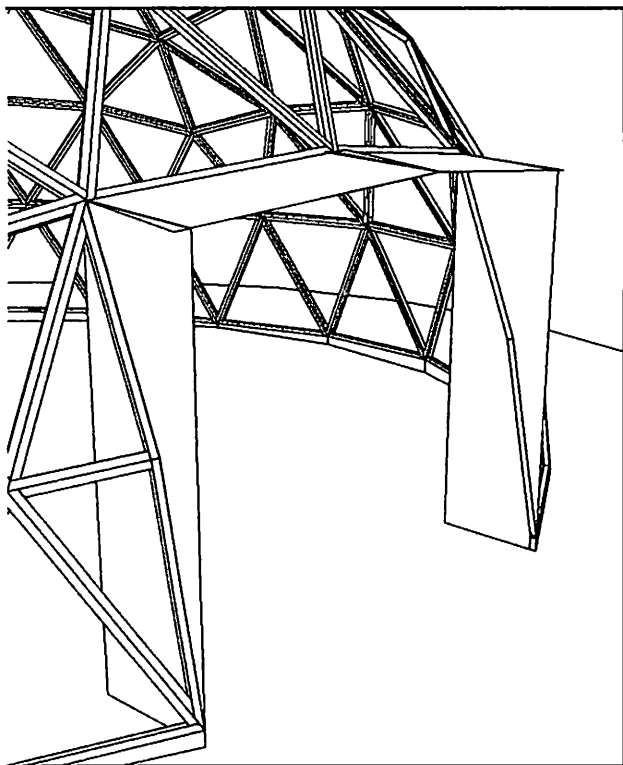


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Man Door (2) panels mirrored

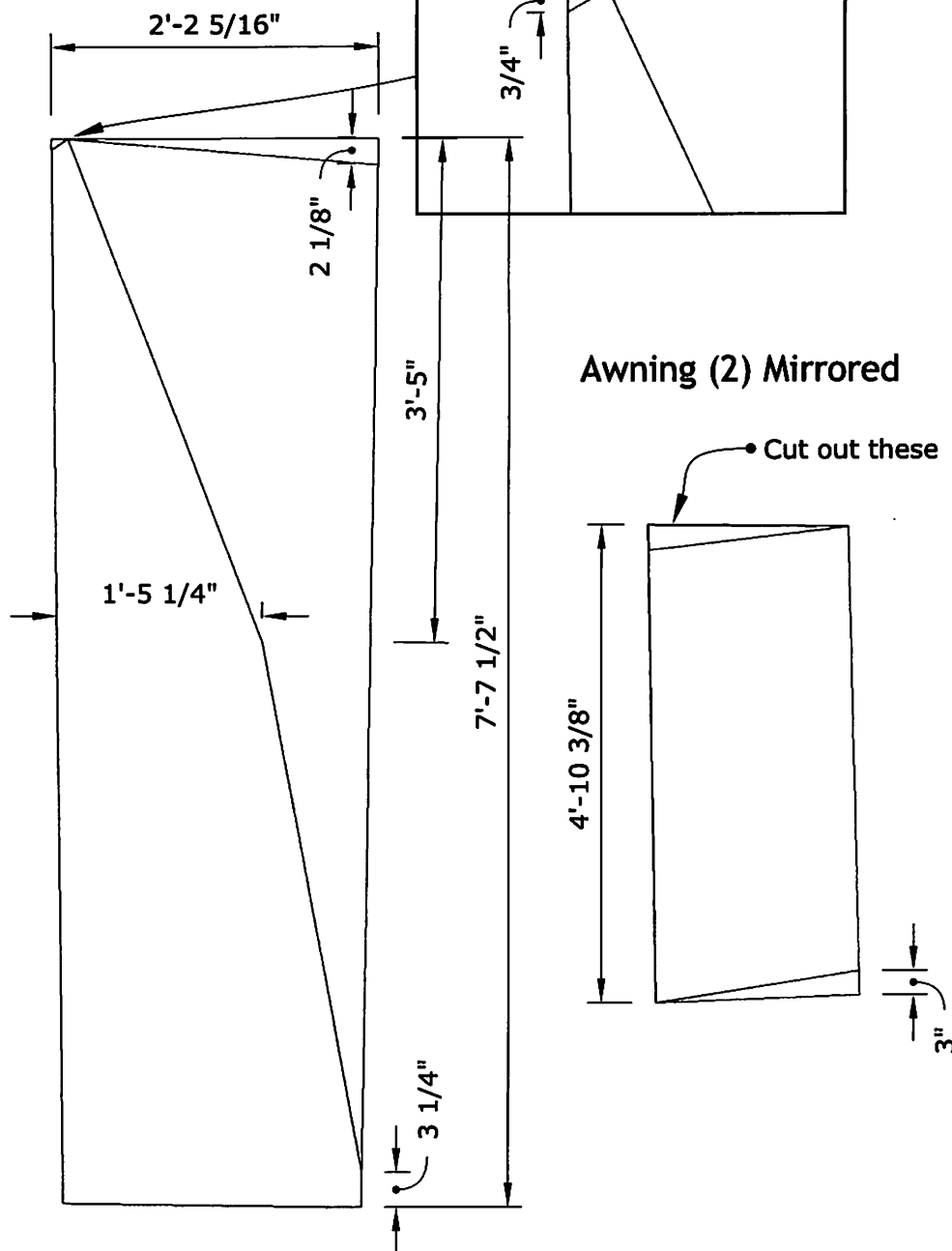
You can cut the inside line to make the card flush with the dome frame or cut the outside line to have the card extend from the dome frame and create an awning



Door Opening Dimensions
(Before Cards)

9' 1" wide
7' 7 7/16 tall

Door Cards (Cont)

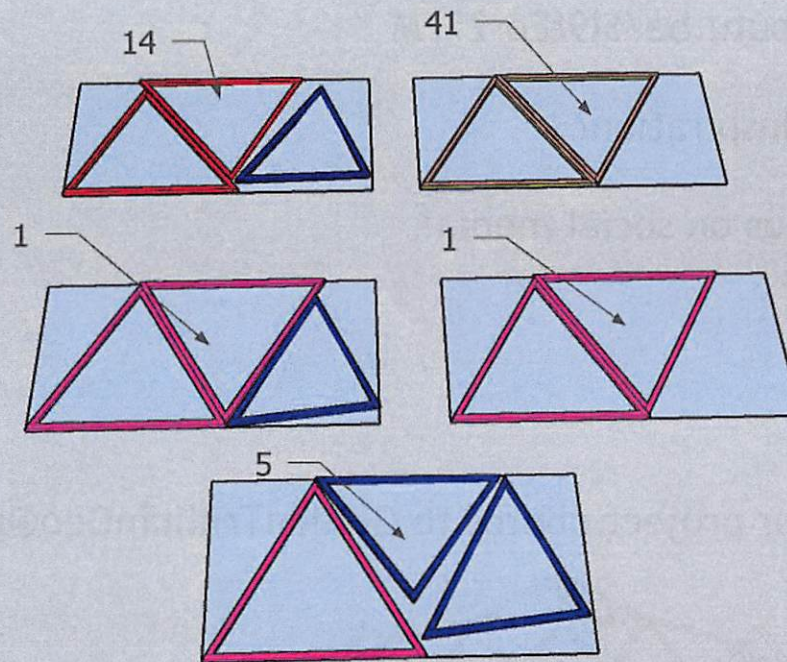


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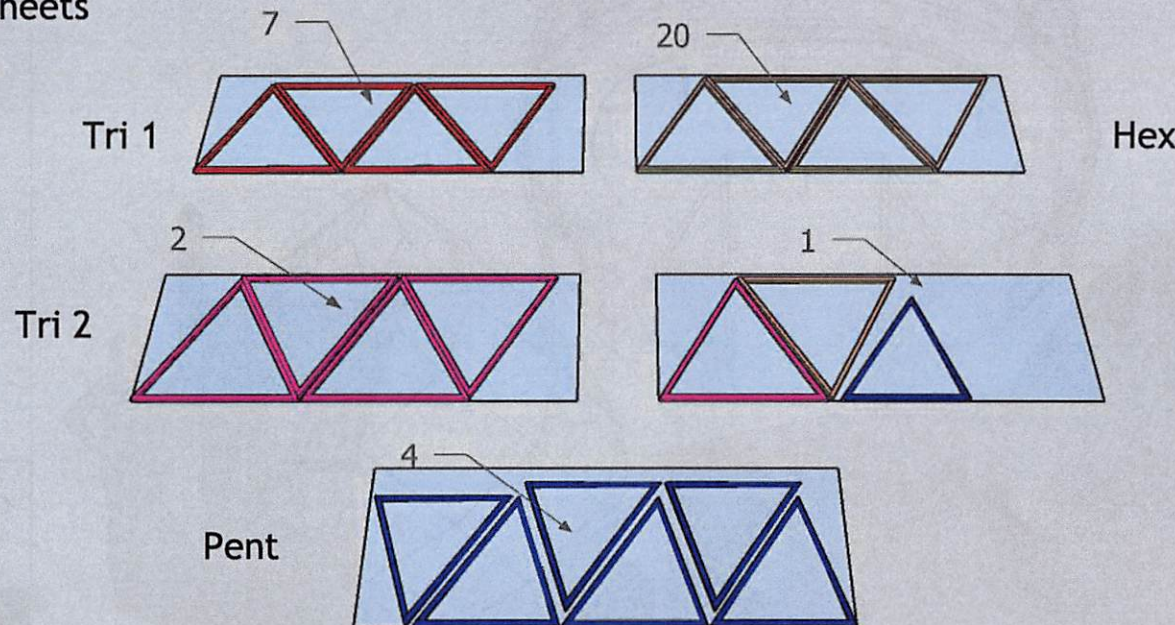
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Sheet Goods Layout

(62) 4'x8' Sheets



(34) 4'x12' Sheets



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Additional Resources

Step by Step How to Video: <https://youtu.be/Sl9fEp-27EM>

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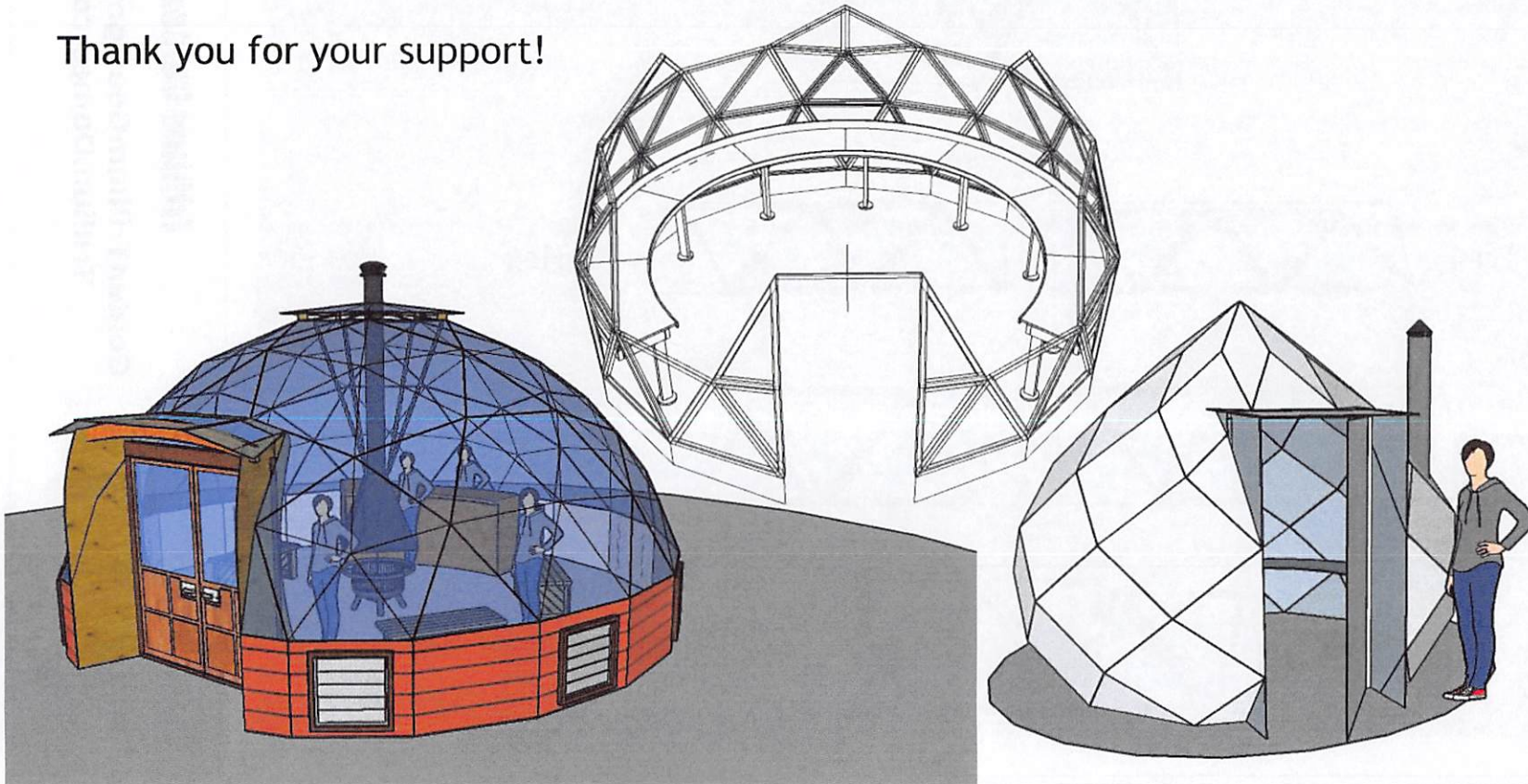
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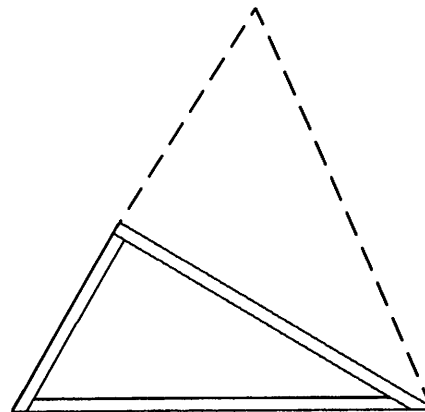
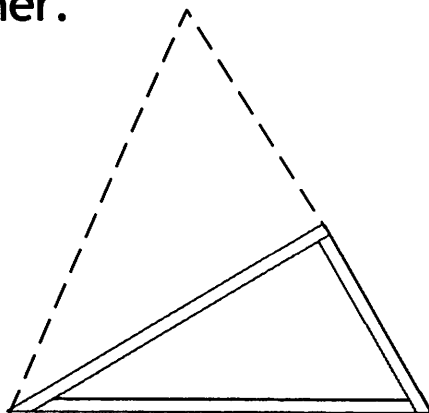


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Model Specific Notes

- This model is best built using 38x140 boards ripped in half to create timbers 38 x 70". This ensures that your stock is straight, as it can be difficult to find straight 2x3 material.
- The tapered base sections are shorter for this version and can be harder to rip. If you are unfamiliar with how to create the tapered bevel, I would suggest looking up how to rip with a track saw or shooter board to create consistent pieces. My preferred method is to create a taper jig for the table saw. Quite simple to do and there are many videos on YouTube that show how.
- Each Special Door panel is a partial of another panel. They are cut away to make space for the doorway. Each special panel is one of a mirrored pair. These panels must be made to mirror each other.



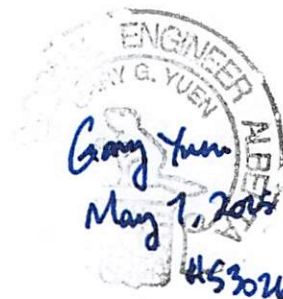
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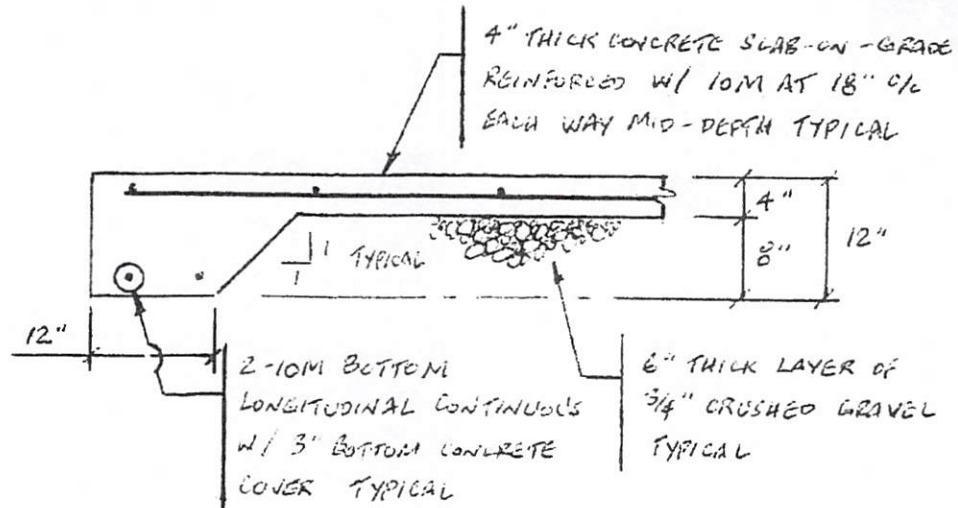
GREENHOUSE PAD AT 434054 43RD STREET W – FOOTHILLS COUNTY, AB.

GENERAL NOTES:

- 1) The P. Eng. seal affixed to all drawings applies only to the structural discipline.
- 2) The following notes, drawings/details S1 through S3 are specific for the proposed greenhouse pad at the above noted residence.
- 3) The contractor is to field confirm all dimensions prior to commencing work, and to notify the engineer of any discrepancies.
- 4) Roof live and dead loads assumed at 21 psf plus snowdrift and 10 psf respectively.
- 5) Remove all top soil, organics, frozen soil, wet and/or weak soils.
- 6) Concrete pad to be constructed over native undisturbed soil with an assumed allowable net soil bearing pressure of 2000 psf (96 kPa).
- 7) All reinforcing bars shall be manufactured and meet the requirements of CSA Standard G 30.18-M92. Billet steel bars for concrete reinforcement.
- 8) Reinforcing steel to be deformed bars with a minimum yield strength of 60 ksi (400 MPa).
- 9) Splices, bends and placement of reinforcing bars shall conform to CAN/CSA-A23.1-M94 and CAN3 A23.3-M94.
- 10) All reinforcing steel shall be chaired and securely tied in place using standard ties and chairs off the sub grade prior to placing concrete. Pre-moisten the gravel prior to placing concrete.
- 11) Concrete shall be placed in accordance with CSA.A23.1 latest edition to prevent segregation of the mix.
- 12) Concrete shall be placed, screeded and floated to ensure a well compacted, void free slab.
- 13) Concrete mix to have a minimum 28 day compressive strength of 32 MPa, exposure class C-2, cement type 'GU', and 4-7% air entrainment.
- 14) Concrete slab on grade to be 4" (100 mm) thick reinforced with 10M at 18" (450 mm) on center each way mid depth over 6" (150 mm) layer compacted $\frac{3}{4}$ " crushed gravel subbase.
- 15) Provide crack control joints by saw cutting the slab on a 10'-0" x 10'-0" grid. Saw cuts to be 1/8" x 1" deep (3 mm x 25 mm deep); and sawcut within the first 8 to 18 hours after placing concrete, but not more than 24 hours.
- 16) Slope finished grade away from garage pad (provide positive drainage).
- 17) The design is in accordance with the latest National Building Code (NBC-2023 AE).



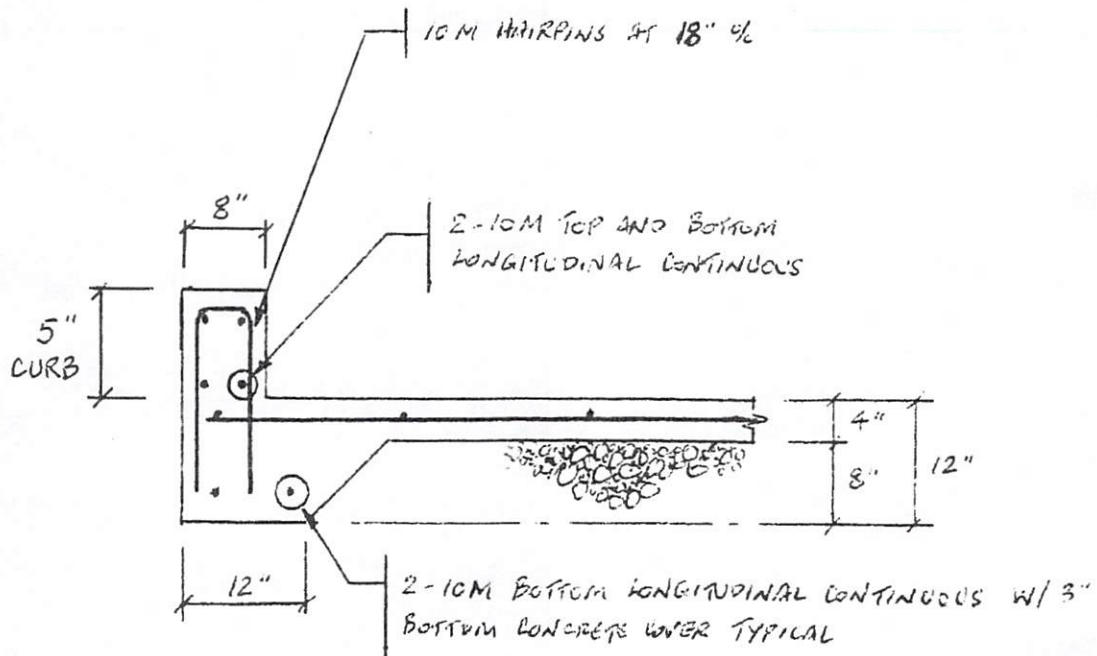
Drawing S1
May 7, 2025



1
S2

SECTION - TYPICAL SLAB THICKENING DETAIL AT ALL OIL AND MAN DOORS

DO NOT SCALE



2
S2

SECTION - TYPICAL SLAB THICKENING DETAIL WITH CURB

DO NOT SCALE



DRAWING S2
MAY 7, 2025

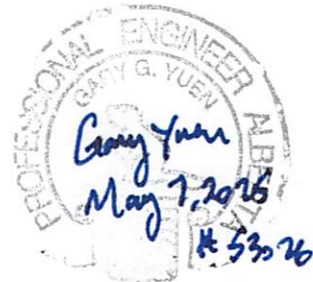
CAST IN PLACE CONCRETE NOTES

- 1.1 CONCRETE: CONFORM WITH CAN-CSA A23.1 REQUIREMENTS AND THOSE SHOWN IN THE CONCRETE MIX SCHEDULE AS FOLLOWS:

CONCRETE MIX SCHEDULE

LOCATION	MIN. COMPRESSIVE STRENGTH AT 28 DAYS (MPa)	CEMENT TYPE	EXPOSURE CLASS	AIR CONTENT (%)
SLAB ON GRADE (EXPOSED TO FREEZE/THAW)	32	GU	C-2	4-7
SIDEWALKS, CURBS AND PAVING SLABS	32	GU	C-2	5-8

- 1.2 DESIGN CONCRETE MIXES TO SUIT REINFORCEMENT DETAILS SHOWN ON THE PLACEMENT DRAWINGS. PROVIDE SMALLER AGGREGATES OR SELF CONSOLIDATING CONCRETE IN AREAS OF HIGHER REINFORCEMENT DENSITY.
- 1.3 ALL CONCRETE SHALL BE NORMAL DENSITY U.N.O.
- 1.4 ADMIXTURES THAT CONTAIN CHLORIDES SHALL NOT BE USED.
- 1.5 EXTERIOR AND INTERIOR CONCRETE SUBJECTED TO FREEZE/THAW CYCLES, SALT, ETC. INCLUDING WALLS SHALL BE AIR ENTRAINED.
- 1.6 PROVIDE WATERSTOPS AT ALL CONSTRUCTION JOINTS IN ELEMENTS RETAINING EARTH OR EXPOSED TO WEATHER.
- 1.7 THE USE OF CHLORIDES SUCH AS DEICING SALTS IS PROHIBITED FOR MELTING ICE PRIOR TO PLACEMENT OF CONCRETE.
- 1.8 CSA - A23.1/A23.2 DEFINES THE WEATHER AS COLD 'WHEN THERE IS A PROBABILITY OF THE TEMPERATURE FALLING BELOW 5C WITHIN 24 HOURS OF PLACING CONCRETE' AS PER THE FORECAST OF THE NEAREST OFFICIAL METEOROLOGICAL OFFICE. SHOULD THESE CONDITIONS PREVAIL THE CONTRACTOR IS TO FOLLOW THE GENERAL PROCEDURES FOR COLD WEATHER CONCRETING PER CSA - A23.1/A23.2..



Drawing S3

May 7, 2025

Additional Resources

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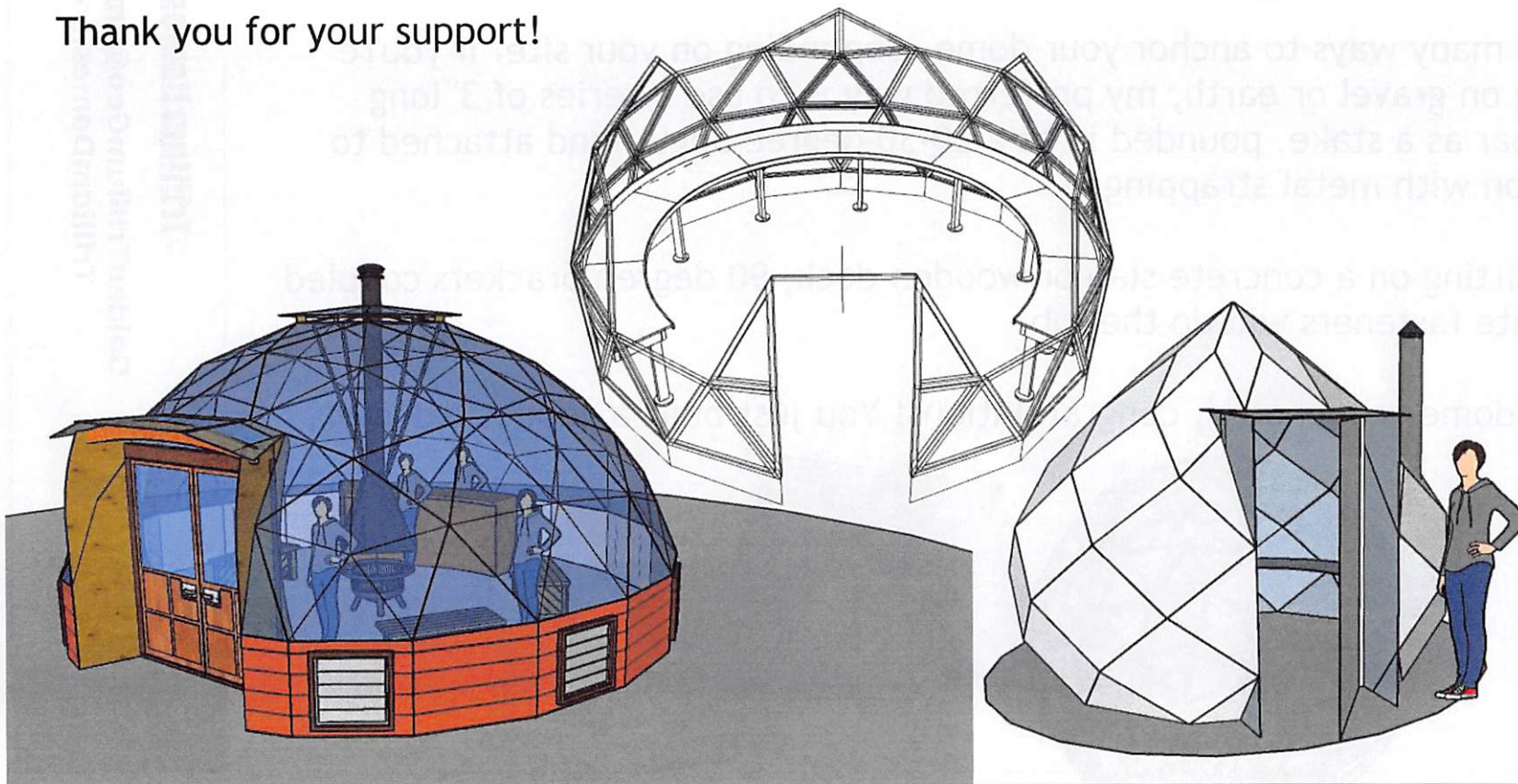
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Method: Seam Tape and Anchors

Step 10: Hang the door and Tape the Seams

It's useful to stake the door card/door posts apart the correct distance before hanging the door to ensure a good fit. Using shims, prop the door up the appropriate amount and fasten the hinges to the door card/door post.

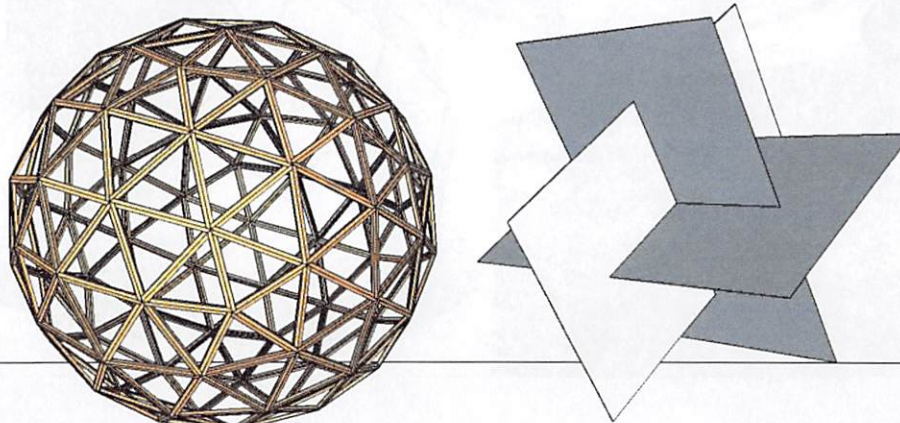
Tape the open seams, where the panel sections came together. Make sure the surfaces where tape is to be applied is clean and dry! Start with bottom seams and work your way up, lapping the top seams over the bottom ones.

Step 11: Anchoring the Dome

There are many ways to anchor your dome, depending on your site. If you're dome is sitting on gravel or earth, my preferred way is to use a series of 3' long sections of rebar as a stake, pounded in at a 20-30 degree angle, and attached to the base section with metal strapping.

If you're sitting on a concrete slab or wooden deck, 90 degree brackets coupled with appropriate fasteners will do the job.

Once the dome is anchored, congratulations! You just built a geodesic dome!



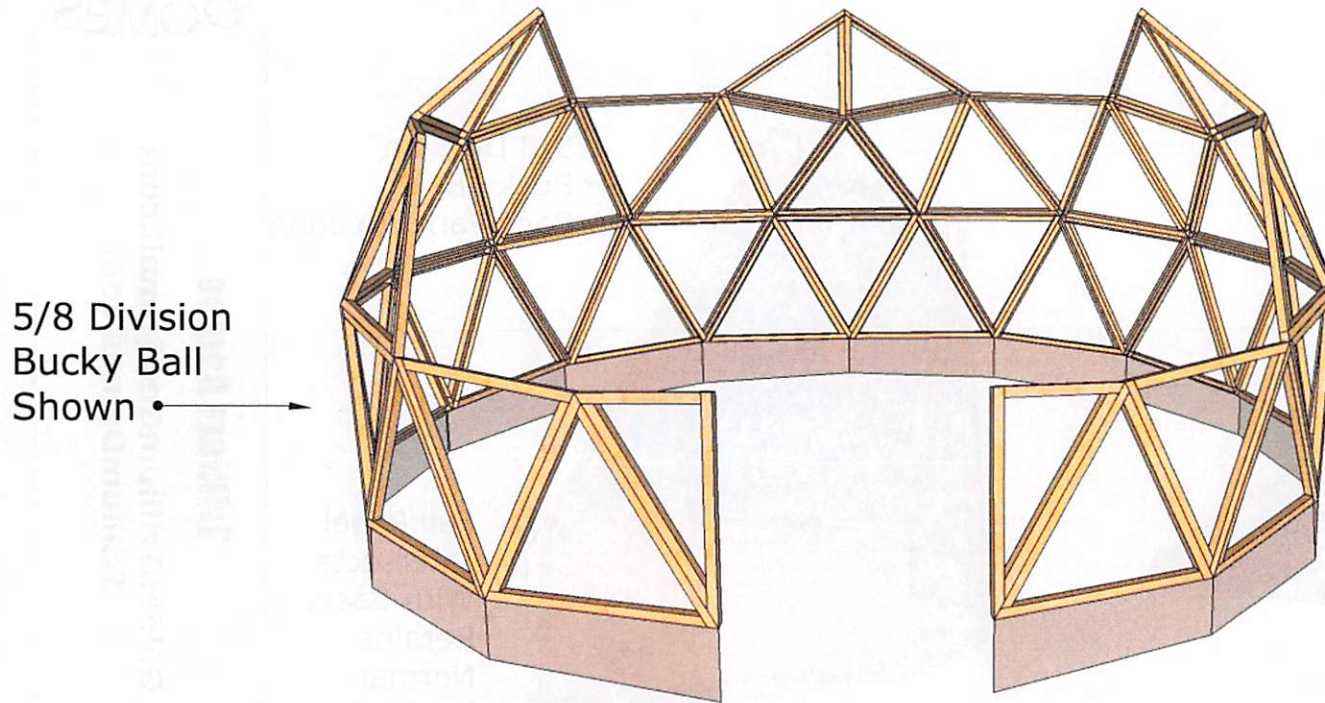
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Method: Final Assembly

Step 9: Build the thing!

My personal favorite part of the process. Get yourself a helper or two and start from the ground up (or outside in from the exploded view). Clamps are handy. It's pretty self explanatory. The better your base sections are set up (level and accurate layout) the easier time you'll have.



I would suggest putting in the minimum amount of screws until the whole dome is assembled, in case you need to go back and adjust. These structures are pretty flexible until they are complete, so feel free to use that to your advantage. However, be aware that it may not be a good idea to assemble them in windy conditions.

This is a great time to put silicone caulk or gasket material between your frames as you build the dome for an extra layer of water tightness!



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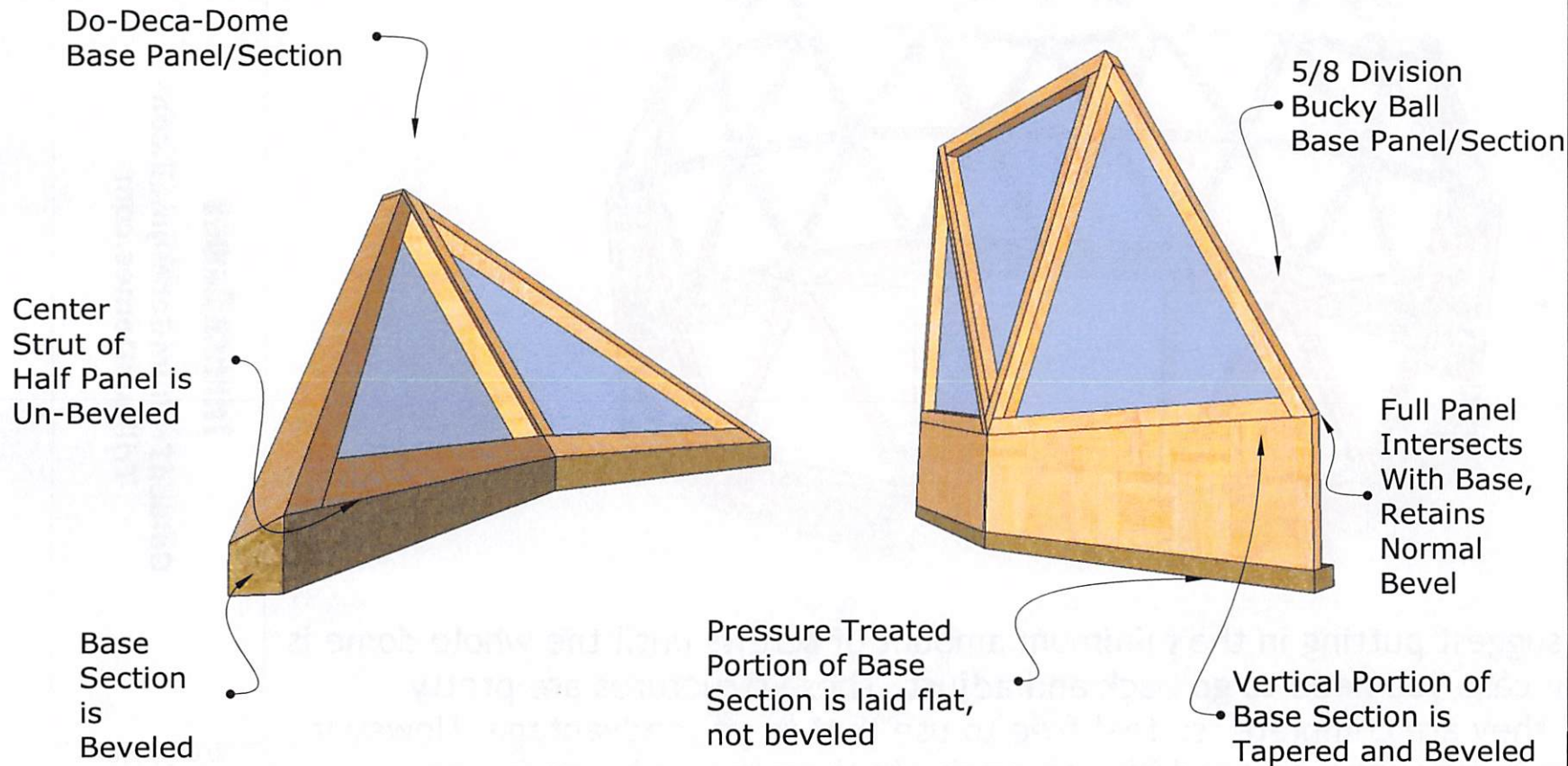
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Method: Base Sections

Step 8: Base Sections

Depending on the geometry of your dome, you will have beveled or non-beveled base sections. Typically it is easiest to assemble the base panels and the base sections, lay them out on your site, double check measurements, stake them down (even temporarily), and then proceed to assemble the rest of the panels.



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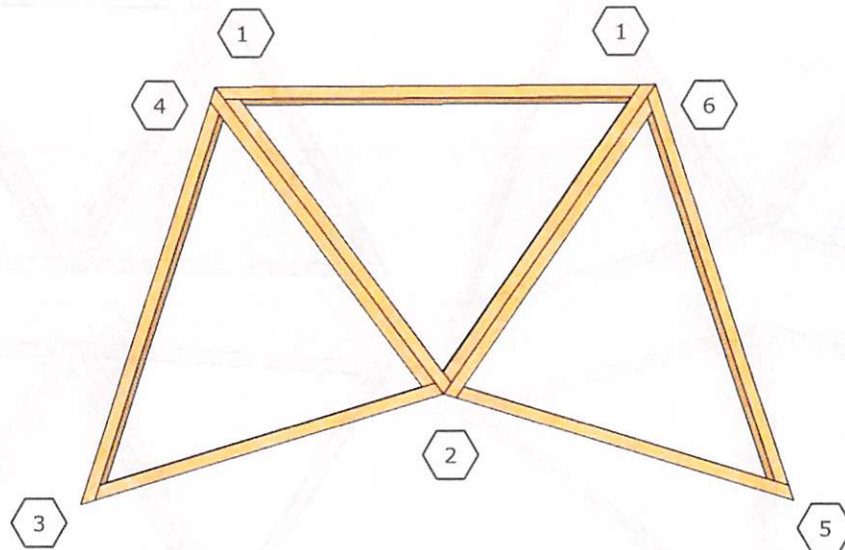
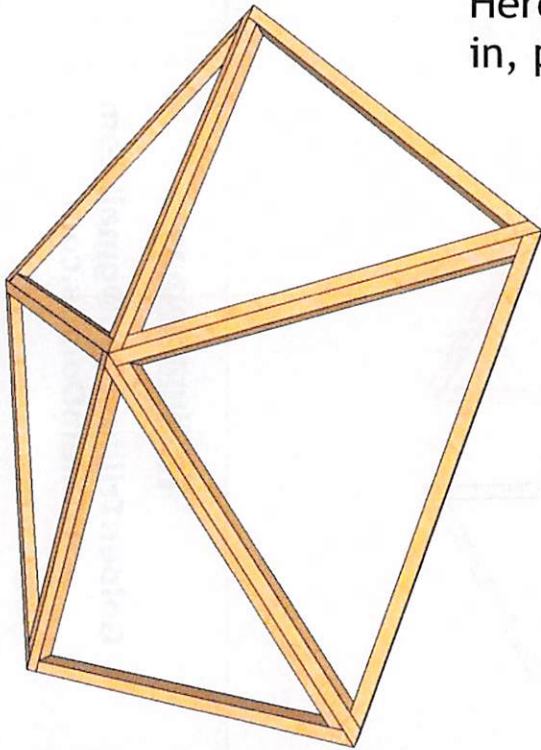
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Another option is to lay out the base sections first, without attaching the base panels. With bigger domes, or more complicated base layouts, this can be advantageous to get an accurately laid out "first run" to build on.

Method: Covering

Covering with film takes some practice. When you're first starting I suggest putting only a handful of staples in each side until you get in the zone. It will make it easier when you have to inevitably tear some out and tighten something here or there.

Here is a general rule of what order to staple the film in, pulling tight to the sequential number.



Film is stapled on the beveled edge, so that when the panels come together, the stapled seam is hidden. So make sure the section of cover material you are stretching overhangs the panels by a few inches.

Single layer poly tends to stretch better when it's warm. I tend not to use it due to its fragility though. Instead, I use a woven poly film. It has more of a tarpaulin texture and isn't as elastic. Good for stretching over frames in the cold.



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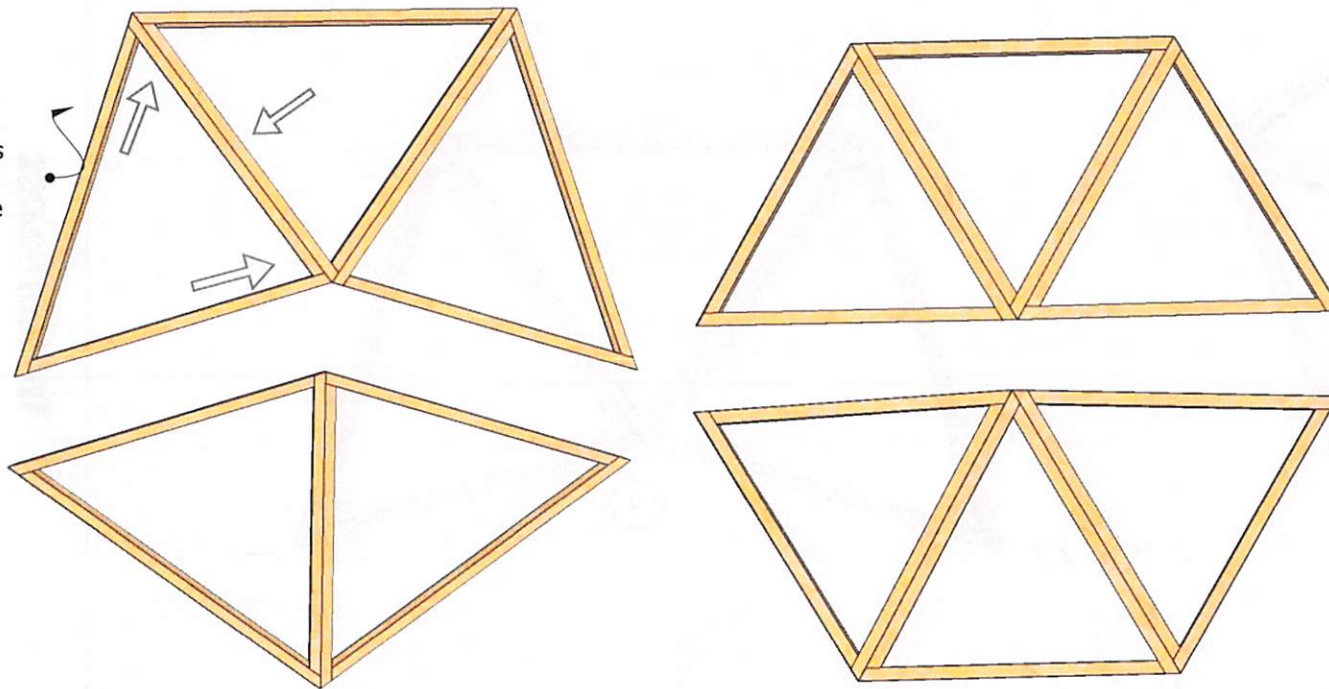
Method: Pre-Assembly

Step 7: Pre-assembly and Cover Material

In this method, we cover our dome panels in sections. This saves time, but also allows us to go in and repair or replace sections without having to replace the entire cover or settle for an ugly band-aid solution.

These are the sections we are able to cover in one piece without wrinkling or folding the cover material. Pentagons and hexagons are shown.

Clamp and screw where the arrows are. Get as close as you can to the corner.



When pre-assembling panels before covering, the panels are arrayed so that the "bottoms" (the longest side) are on the outside. With hexagon panels, because they are so close to being equilateral, it's helpful to mark the bottom during assembly. Use clamps and be sure they are right on before screwing them together.



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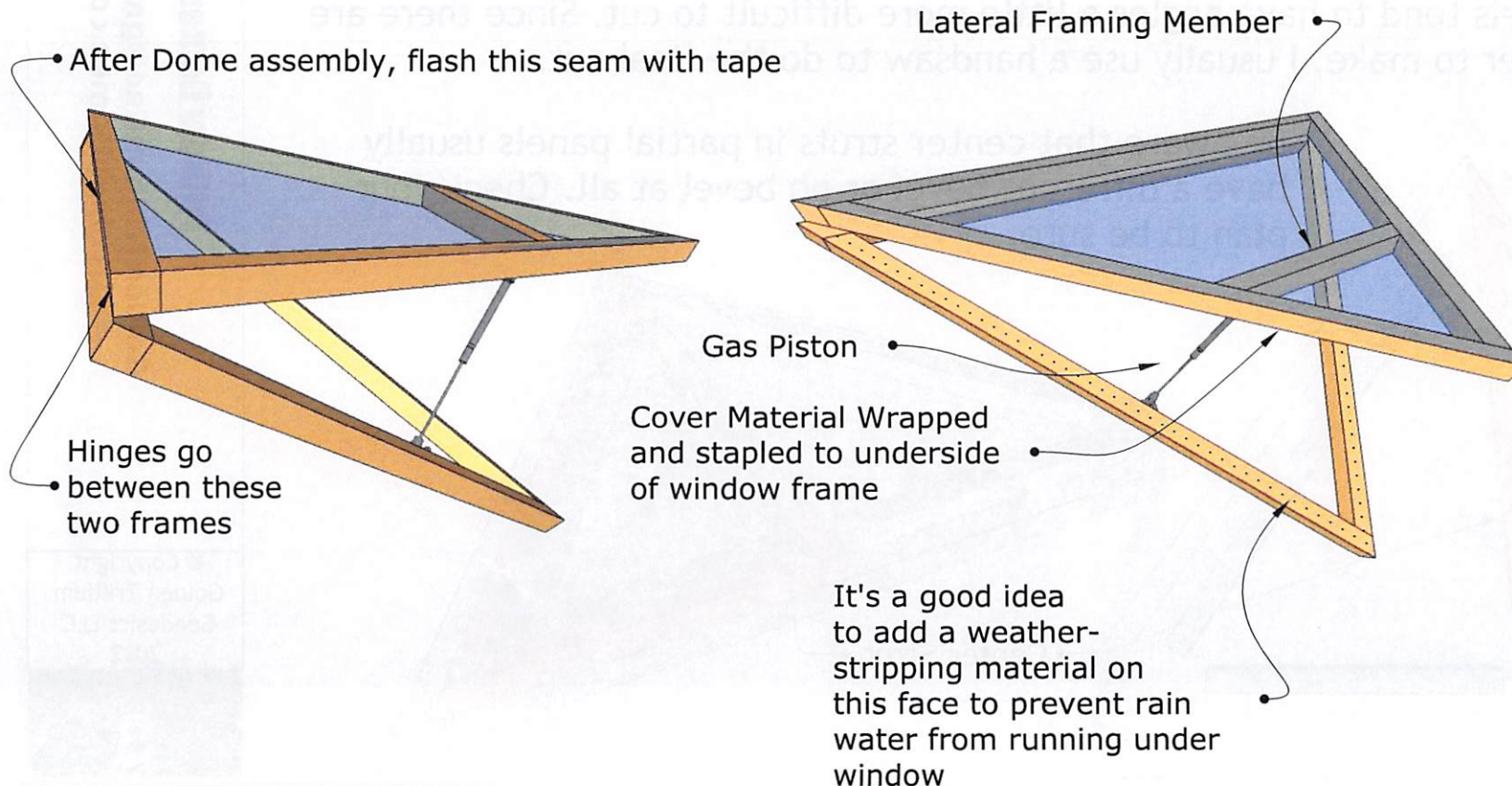
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Method: Windows

Step 6: Windows

For a window opening you simply make one panel extra for each window you want. There should be some already be included in your plan count. On the panel where the window will go, leave the cover material off, and attach the covered window frame with two small hinges.

A lateral framing member can be added to the window to support a gas filled piston that will serve to hold the window open.



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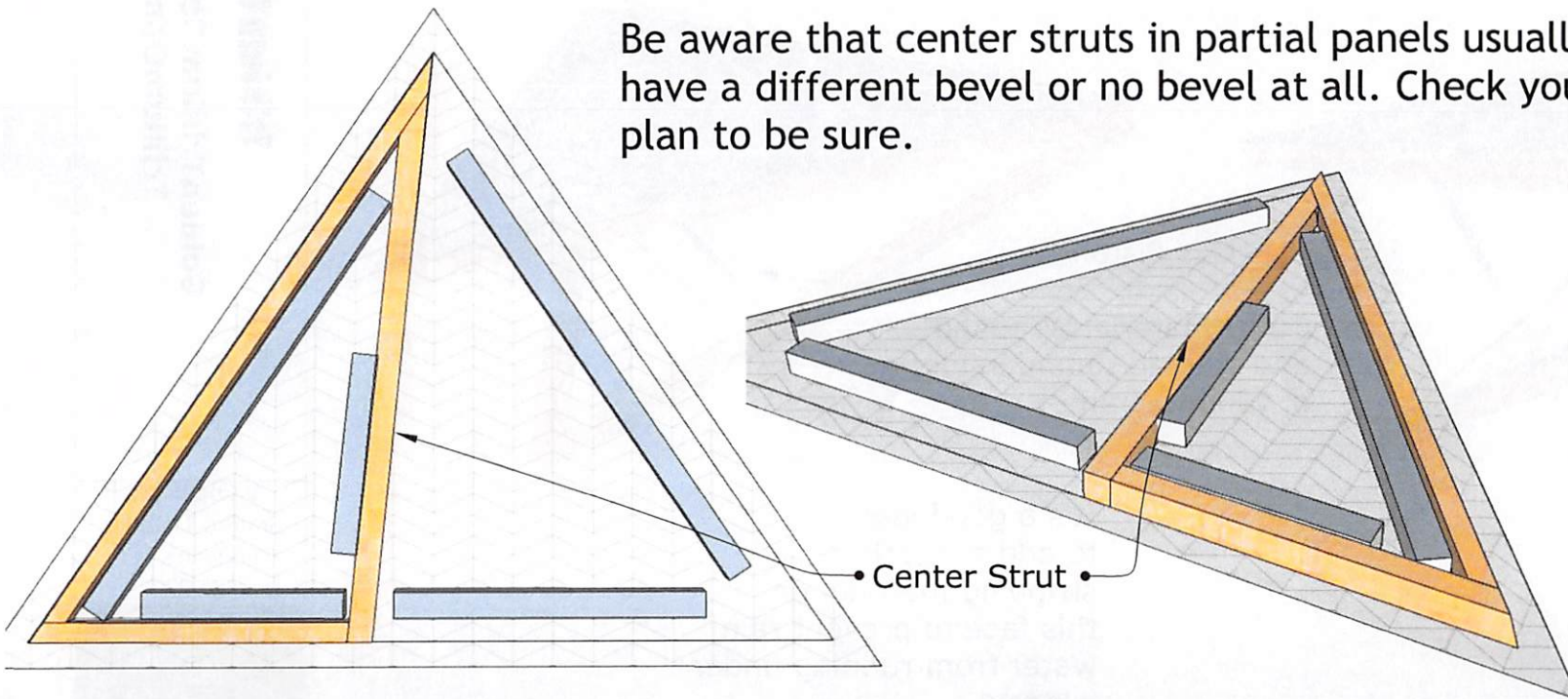
Method: Jig - Half Panel

Repeat these steps for every strut, as they are each unique. Remember that you have all the info you need for the angles in the plan. Be sure to keep the struts organized, labeling them as you go if you feel the need. As you build the panels, you can flip an assembled panel over sideways and put it back on the jig. If there are significant gaps, you may need to adjust your jig.

The panel making process is similar for the partial or half panels usually required for doorways and base panels. Whatever panel they are a partial of, you can mark the dimensions on the existing jig and cut space for the dividing struts to go.

Partial panels tend to have angles a little more difficult to cut. Since there are usually also fewer to make, I usually use a handsaw to do the final cut.

Be aware that center struts in partial panels usually have a different bevel or no bevel at all. Check your plan to be sure.



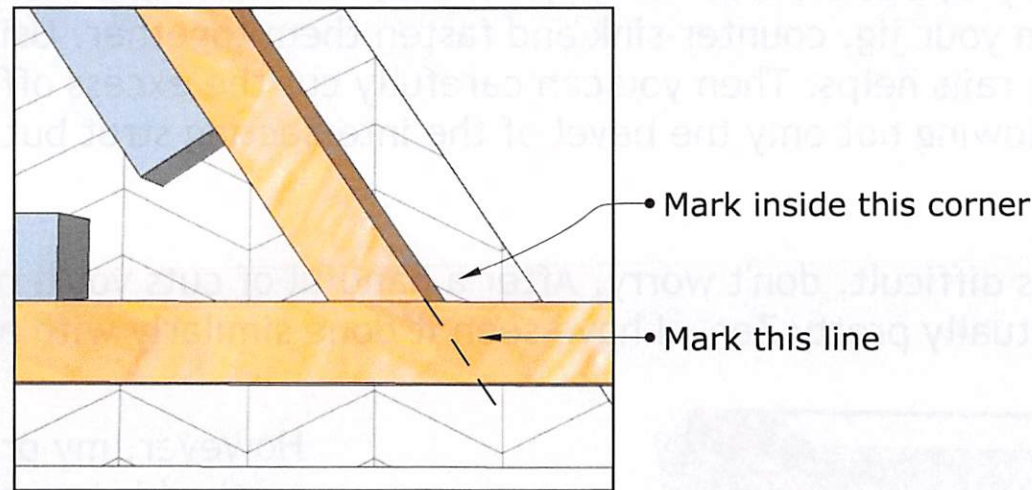
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Method: Final Miters

In order to achieve the final cut with a miter saw, you will want to clamp all struts to the jig without fastening them. Make a pencil mark on the side that the intersecting strut is butting into (for the bevel) and make a mark on top of the selected strut (for the miter).

Take this over to the miter saw and set the saw for the appropriate miter (according to the plans) as well as the bevel angle described on the plans.



Make sure to orient the strut/miter/bevel in the proper direction before cutting. Cutting the bevel and miter at once, split the marks you just made. Before you move the strut, place a stop block at the other end and clamp/fasten it. This will set you up to make repeat cuts. Take the strut back to the jig and make sure it fits.

If it's a good fit, you're all set to make your repeat cuts. Simply put the strut against the miter saw fence, slide it toward the block until it stops, and cut. Make sure to check your fit every 5 struts or so to make sure your block is still good.



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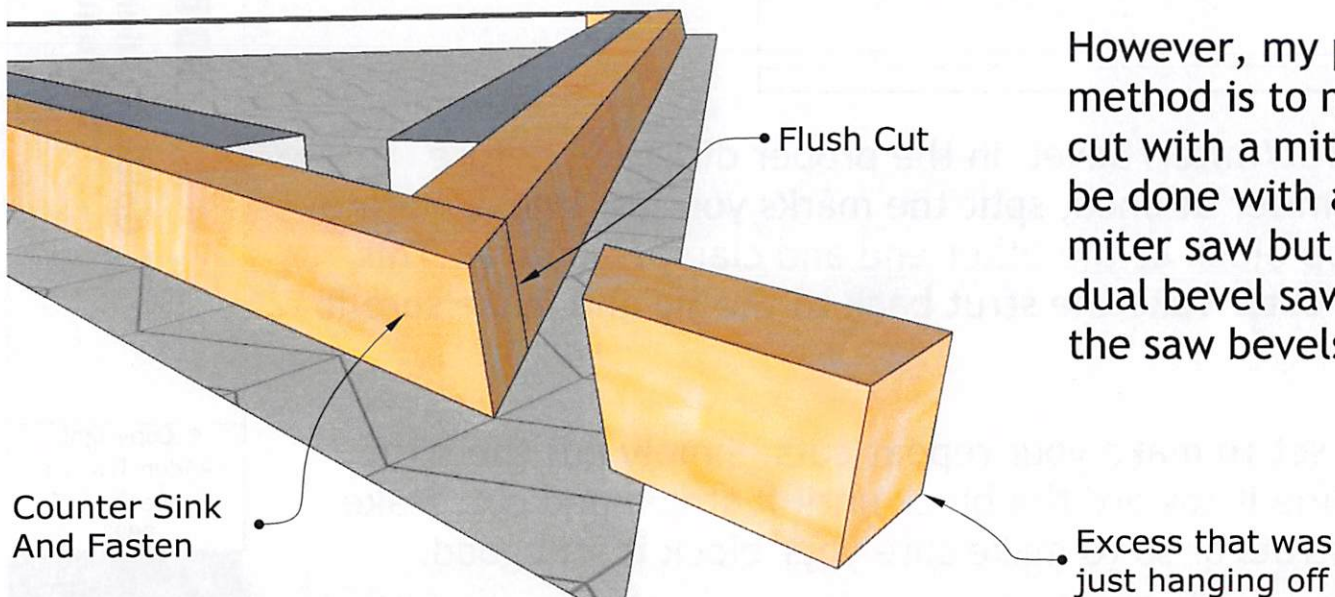
Method: Final Miters

Step 5: Final (compound) Miters

Once all your initial miters are cut, it's time to make the final cut on your strut. Because it terminates at the end of the intersecting strut, it is a compound bevel. This just means that it has a miter and a bevel. It might sound intimidating but there are a few simple ways we can tackle this.

The most simple, but time consuming method, is with a hand saw. You butt the struts together on your jig, counter-sink and fasten them together. Using clamps to hold struts to the rails helps. Then you can carefully cut the excess off each strut with the handsaw, following not only the bevel of the intersecting strut but the angle of the miter as well.

If this sounds difficult, don't worry. After a handful of cuts you'll be flying through it. It's actually pretty Zen. I have seen it done similarly with a circular saw.



However, my preferred method is to make this final cut with a miter saw. It can be done with a single bevel miter saw but is best with a dual bevel saw, which means the saw bevels left and right.



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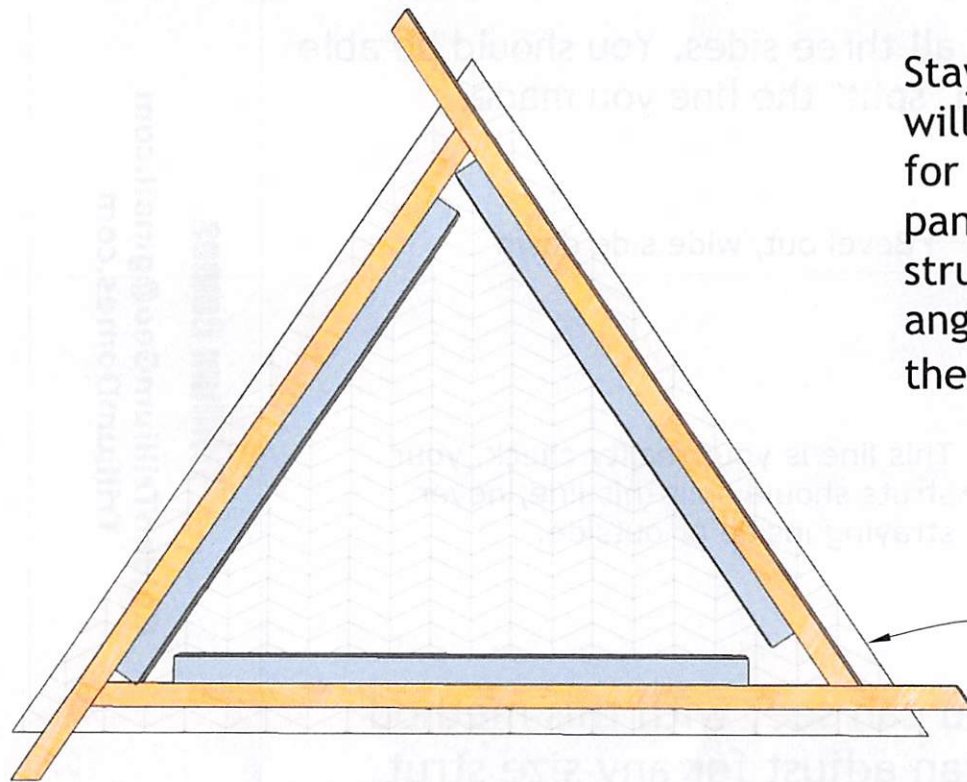
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Method: Jig and Initial Miters

Step 4: Initial Miters

The next step is to cut your initial miters. These are the cuts that butt into the adjoining strut. Take care to cut them the right direction, and cut as little off the end as possible. The angles will be listed in the Panel Dimensions page of the plans.

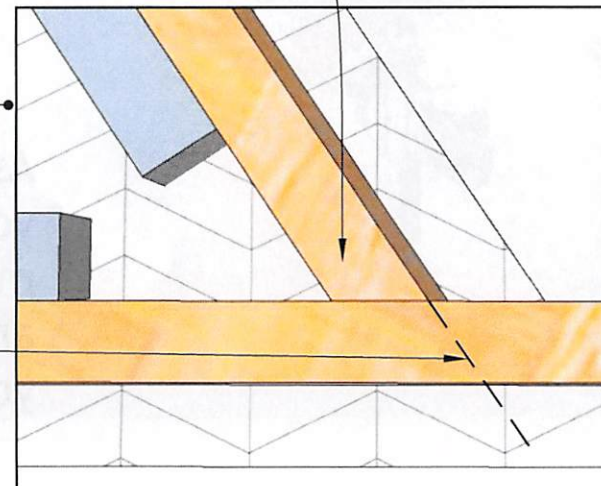
The excess length of the strut on the other end will overhang the jig for now.



Staying organized is important. There will typically be two different angles for each panel. Multiply the amount of panels you need by 3 to get your total struts. Cut 2/3 of them at the bottom angle, 1/3 at the top angle. Label them if necessary.

Compound Miter to be cut later

Initial Miter



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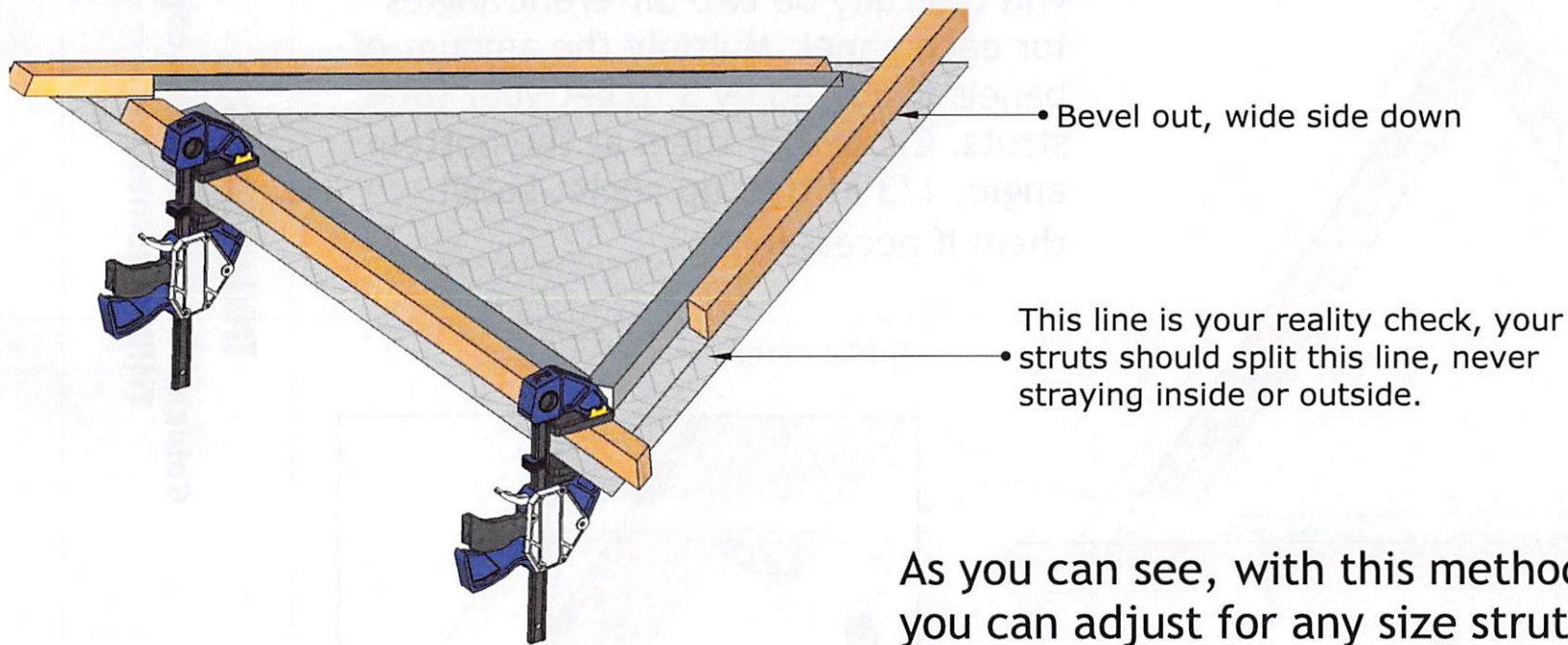
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Method: Jig

Working one side at a time, take your strut material and set it wide side down, bevel facing out, on the inside of the lines you marked. Clamp the strut to your jig on this line, holding in place. Using a straight scrap piece of wood (3/4" X 1 1/2" plywood works great), screw a rail down to the jig that butts up against your strut material. Secure it well.

Unclamp your strut and repeat the process on all three sides. You should be able to push your strut against the rail and the strut will "split" the line you made.



As you can see, with this method you can adjust for any size strut material. As long as it's consistent and the bevel angle is correct, you're golden.



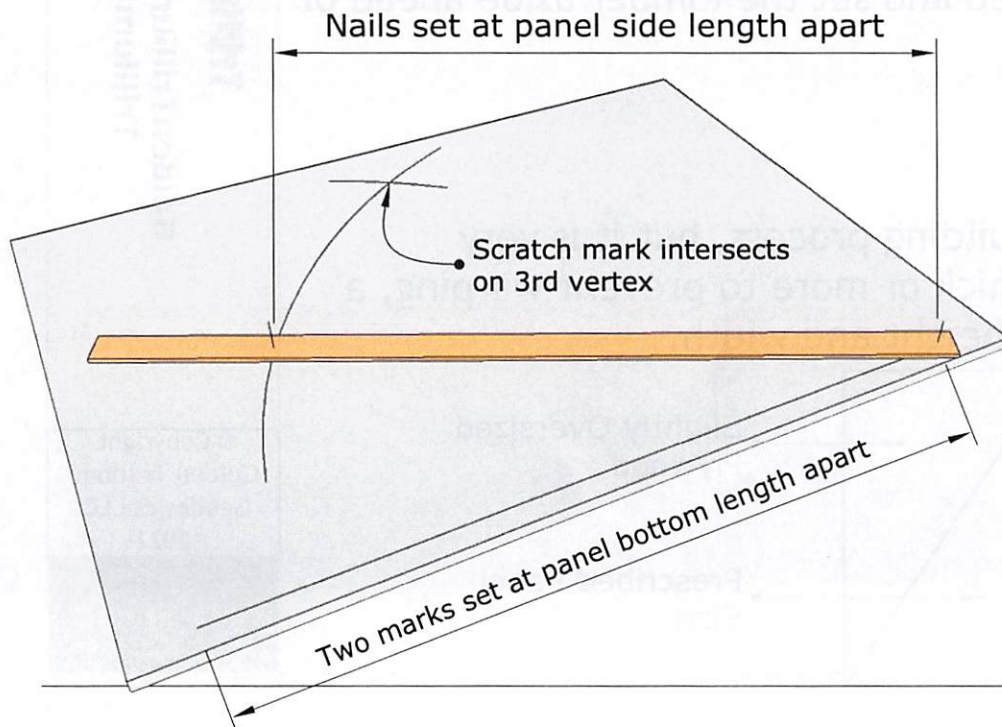
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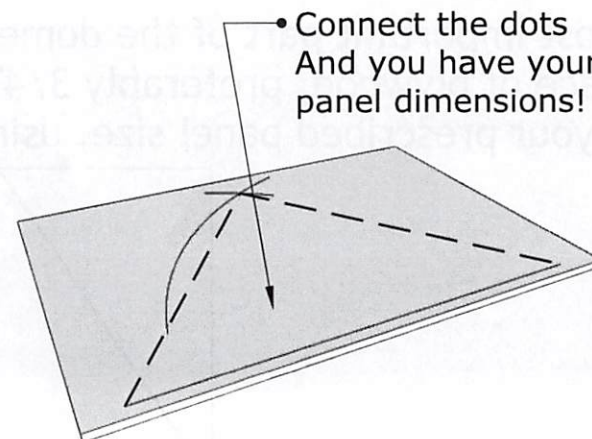
Method: Jig

Take a straight edge or chalk box and mark a line along the bottom of your plywood. Make two marks on the line that are the length of the bottom of your panel apart. Using a thin piece of wood as a compass, set a nail or screw in one end and then another the length of the side of your panel apart.

Using the two bottom marks, set one nail of your compass on a mark and scratch a line with the other nail as the compass arcs. Then place the compass on the other mark and repeat the process. Where those two scratches intersect should be the third vertex of your triangle. From here you can check your measurements from each point. If it checks out, connect the dots. This is the outside dimension of your panel. While fabricating the panels, nothing should protrude inside or outside of these lines.



At this point you can cut off the excess plywood, leaving an inch or two outside of your line.



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Method: Bevel and Jig

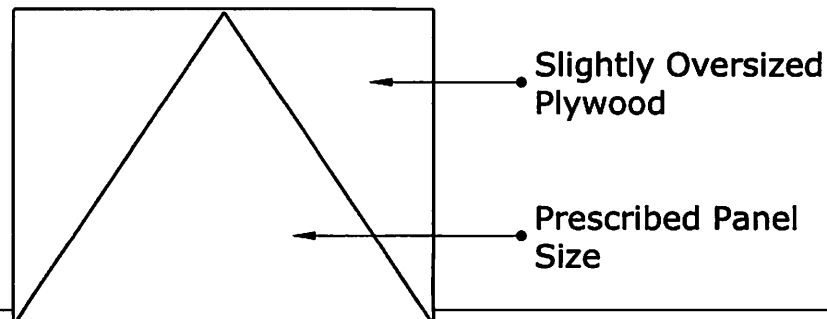
Once you have set your saw blade to the proper angle, take a scrap piece the same dimension as the stock you are going to rip. If you can, mark the end of the board with the prescribed angle intersecting the center. Set the fence in such a way that you make a cut, then flip the off-cut 180 degrees and send it back through the saw, cutting off just a tiny bit more.

This ensures that you are maximizing material usage and getting an exact replication of dimensions across all struts. It's better to have slightly smaller struts that are consistent than thicker struts that don't exactly match.

If it helps, you can cut your struts down to size before ripping them. For example, if your struts will be less than 4' and you have 8' boards, you can cut them in half to make running them through the table saw easier. BE CAREFUL - don't cut them too short. Figure out how many struts you will need and set the lumber aside ahead of time.

Step 3: Make a jig

This is the most important part of the dome building process, but it is very simple. Take a piece of plywood, preferably 3/4" thick or more to prevent warping, a little bigger than your prescribed panel size, using height and width.



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Method: Finish and Bevel

Step 1: Apply finish to your material

You will be ripping all strut material in half through the table saw, the cut edge will not be visible when the dome is assembled. Therefore, applying the finish is done most efficiently BEFORE cutting the bevel angle on your strut material.

If you are ripping wider boards down before splitting them into struts, IE ripping a 2x6 down to a 2x3, do that first, then apply finish. This is an advantage if you cannot find straight 2x3 stock, which is likely. Your material being straight is very important.

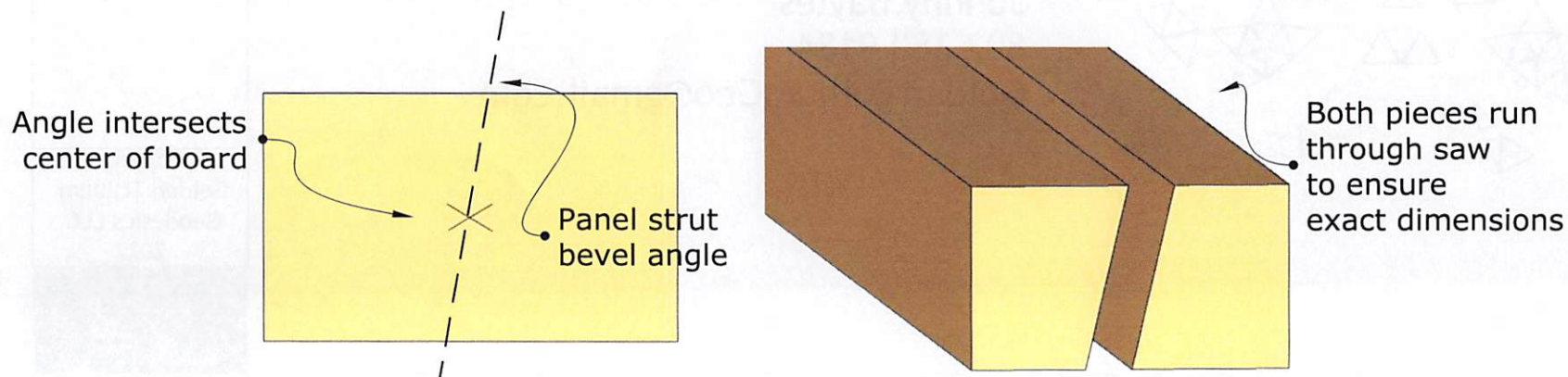


Trillium Domes
GoldenTrilliumGeo@gmail.com
TrilliumDomes.com

Step 2: Rip your bevel angle

It is absolutely critical that the bevel angle remain as accurate as possible. A digital angle finder is your friend. At this point it should be noted that if the any of the other dimensions of your strut are different from the plan, that is ok.

As long as all your struts are consistent, you can adjust your jig to fit your strut dimensions. However, the bevel angle itself must be accurate to the plans.



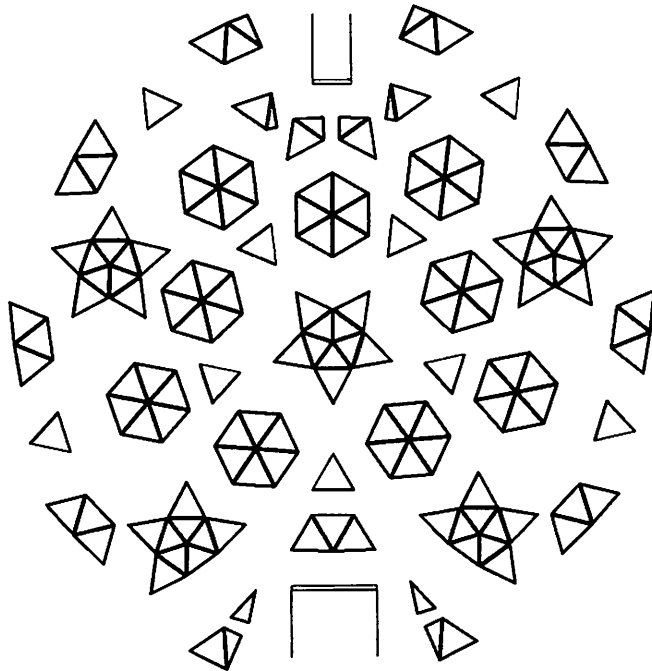
© Copyright
Golden Trillium
Geodesics LLC
2022

Dome Builders Method!

Hello! My name is Johnny and I have been designing and building domes since 2015. I won't bore you with dome theory or anything like that, this is just the nitty gritty steps you need to build a gorgeous dome with beautiful joinery, and do it right the first time!

Check out this step by step video I made to help you visualize the process, you can follow along with this printed version of the method!

<https://youtu.be/Sl9fEp-27EM>



Each face of a dome is made into a panel.

We can make these panels in the shop, cover them, and do 90% of the finish work before ever transporting them to site.

If you have any questions along the way, feel free to reach out me.

Johnny Bayles
802 380 9184
GoldenTrilliumGeo@gmail.com



Trillium Domes
GoldenTrilliumGeo@gmail.com
TrilliumDomes.com

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Golden Trillium
Geodesics LLC
2022

ABANDONED WELL SITES



Foothills County

309 Macleod Trail, Box 5605, High River, AB T1V 1M7. Tel: 403-652-2341 Fax: 403-652-7880

The location of oil and gas wells that are being drilled or are actively producing is evident, both from the surface and through a notation on the land title. Abandonment of an oil and gas well occurs by rendering the well incapable of flow and placing a cap over the casing approximately one meter below the surface. After surface reclamation is complete and a certificate is issued by Alberta Environment, the well site lease notation may be removed from the title. At this point, there is nothing visible on the surface or on the title to indicate the presence of an abandoned well.

Council and staff give serious consideration to information pertaining to abandoned well sites when evaluating applications for subdivision, land use amendment or redesignation, development permits, and building permits.



The Alberta government has recently introduced new requirements for developers and property owners relating to abandoned wells.

Effective November 1st 2012, subdivision and development applications must be accompanied by documentation from the Alberta Energy Regulator (AER) indicating the presence or absence of abandoned wells on-site. If abandoned wells do exist on-site, subdivision and development applications must show exactly where the wells exist, what the setback distances are (if setbacks are required) and how they have been taken into account. To assist applicants in collecting the required information, the AER has released an 'Abandoned Well Map Viewer' that provides the location, name of the licensee, and status of abandoned wells across Alberta. The viewer is available at:

<https://maps.aer.ca/awm/index.html>

Through use of the viewer, subdivision and development applications must now contain the following:

1. A map of the search area from the viewer and a statement that there are no wells in the project area or;
2. A list and map identifying the locations of abandoned wells within the search area, including the surface coordinates, as provided by the viewer or Information Services;
3. Written confirmation from the applicant that the licensee responsible for each well has been contacted and the exact well location confirmed;
4. A sketch of the proposed development incorporating the necessary setback area for each well;
5. If the development will result in construction activity within the setback area, a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction.

The AER Calgary Office can be contacted at:

AER Calgary (Head Office)
Suite 1000, 250 – 5th St. SW
Calgary, AB T2P 0R4
Phone: (403) 297-8311
Toll Free: 1-855-297-8377
Fax: (403) 297-7336
Email: inquiries@aer.ca

This form shall accompany all applications for Land use, Subdivisions, Development Permits and Building Permits.

If no wells are listed on-site:

I, _____ being the registered
Owner(s) or agent acting on behalf of the registered owner(s)
of _____
(Legal Description)

Do hereby confirm that I have done my due diligence as required by Alberta Municipal Affairs, the M.D. of Foothills, and the AER by obtaining required information from the 'Abandoned Well Map Viewer" and/or through the AER Information Services, and hereby attach "Schedule A" containing a map of the search area from the viewer and a statement identifying that no abandoned well sites were noted on the above legal description.

Owner/Agent

DATED: this _____ day of _____, 20_____.

OR

If wells are listed on-site:

I, _____ being the registered
Owner(s) or agents acting on behalf of the registered owner(s)
of _____
(Legal Description)

Do hereby confirm that I have done my due diligence as required by Alberta Municipal Affairs, the M.D. of Foothills, and the AER, by obtaining required information from the 'Abandoned Well Map Viewer" and/or through the AER Information Services, and hereby attach "Schedule A" containing a list and map identifying the locations of abandoned wells within the search area, including the surface coordinates, written confirmation that I have contacted the licensee for each well and that the exact location of each well has been confirmed, a sketch of the proposed development incorporating the necessary setback area for each well, and a statement confirming that abandoned wells will be temporarily marked with on-site identification to prevent contact during construction, if the development will result in construction activity within the setback area.

Owner/Agent

DATED: this _____ day of _____, 20_____.

***This form shall accompany all applications for Land use,
Subdivisions, Development Permits and Building Permits.***

DEVELOPMENT PERMIT CIRCULATION

MEMORANDUM

From: Foothills County
Box 5605 // 309 Macleod Trail
High River, AB T1V 1M7
planning@foothillscountyab.ca

File Number: 25D 151

Date: June 20, 2025

Landowner: Jeremy & Joyce Evans **Agent:** _____

Legal: Plan 0812913, Block 2, Lot 3

Description: Ptn: NW 34-19-01 W5M

Parcel Size: 4.04 Acres

Proposal: Relaxation of Setbacks for a Proposed Structure and Existing Structures

Enclosed is a copy of the plans for the above-mentioned development. We would appreciate receiving your comments on the proposal within 30 days of the date of this letter.

If you require further information or clarification, please contact the Development Department in High River at (403) 652-2341 by phone or through email using the below address. **Please quote our file name when returning your comments to the attention of our Development Department.** Thank you for your cooperation.

30 DAY CIRCULATION

Contact: Brittany Smith Brittany.Smith@foothillscountyab.ca

Application to be referred to:

Division Councillor	_____	Economic Development	_____
Development Officer Site Insp.	_____	AB Comm. Development	_____
Alberta Health Services	_____	AB Energy Regulator	_____
Alberta Transportation	_____	AB Agriculture & Forestry	_____
AB Environment	_____	AB Agriculture, Sustainable Resource	_____
Public Works	X	AB Agriculture, Public Lands Div.	_____
Building & Safety Codes	X	Fortis Alberta	X
Municipal Fire Services	_____	ATCO Gas	X
Municipal Addressing	_____	AltaLink	_____
Municipal Community Services	_____	Other: Telus	_____
AFICA	_____		_____
Erin Frey (HR Airport only)	_____		_____

Notes: _____



PLANNING & DEVELOPMENT CIRCULATION
PUBLIC WORKS DEPARTMENT – CIRCULATION RESPONSE

FILE NUMBER:	LANDOWNER:
FILE MANAGER:	AGENT:
CURRENT LAND USE:	PROPOSED LAND USE:
LEGAL DESCRIPTION:	
MUNICIPAL ADDRESS:	
ROLL NUMBER:	
DATE REFERRED:	
PROPOSAL:	

PROPOSAL INFORMATION:

AMENDMENT

- Internal Road Proposed:
- Construction on Road Allowance Proposed:
- Approaches exist on:
 - Other:

Information pertaining to roads on _____ side of the subject lands:

Servicing Comments or Review required:

- Other:

- Road Widening -

OTHER COMMENTS:

PUBLIC WORKS RECOMMENDATIONS:

SUGGESTED CONDITIONS FOR CONSIDERATION:	Proposed	Balance	
<ul style="list-style-type: none">○ Geotechnical Report for Slope Stability○ High Water Table Testing for Foundation Design:○ Septic Disposal Evaluation (PSTS)○ Stormwater Management Plan○ Lot Grading/Overland Drainage Plan○ Flood Plain Report (1 in 100 years)○ Overland Drainage Easement○ Building Envelopes○ Traffic Impact Assessment (TIA)○ Environmental Site Assessment (Phase1 / Phase2)○ Other: _____	<div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div> <div><input type="checkbox"/> Redes/Amend</div>	<div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div> <div><input type="checkbox"/> Subdivision</div>	<div><input type="checkbox"/> Development</div> <div><input type="checkbox"/> Development</div> <div></div> <div><input type="checkbox"/> Development</div> <div><input type="checkbox"/> Development</div> <div><input type="checkbox"/> Development</div> <div></div> <div><input type="checkbox"/> Development</div> <div><input type="checkbox"/> Development</div> <div><input type="checkbox"/> Development</div>

☐ Subdivision☐ Subdivision☐ Subdivision☐ Subdivision☐ Subdivision☐ Subdivision☐ Subdivision☐ Subdivision☐ Subdivision☐ Subdivision☐ Development☐ Development☐ Development☐ Development☐ Development☐ Development☐ Development☐ Development☐ Development☐ Development

ADDITIONAL ROAD WIDENING REQUIRED:

☐ No ☐ Caveat ☐ Survey Out

Amount _____m Location of Widening Required: ☐ N ☐ E ☐ S ☐ W

Other: _____

☐ No ☐ Caveat ☐ Survey Out

Amount _____m Location of Widening Required: ☐ N ☐ E ☐ S ☐ W

Other: _____

See reverse side.....

RECOMMENDATIONS ON APPROACH REQUIREMENTS:

Number of new approaches and/or existing approaches requiring upgrades: _____

Recommendations: _____

RECOMMENDATIONS REGARDING INFRASTRUCTURE:

ROAD REQUIREMENTS / LIMITATIONS:

- | | | |
|---|------------------------------|-----------------------------|
| <input type="radio"/> Road Ban on road | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| <input type="radio"/> Load Restricted Bridge | <input type="checkbox"/> Yes | <input type="checkbox"/> No |
| <input type="radio"/> Road Use Agreement Required | <input type="checkbox"/> Yes | <input type="checkbox"/> No |

Road comments and requirements: _____

PUBLIC WORKS SUPPORTING DOCUMENTS (PLEASE ATTACH TO THIS REFERRAL IF ANY):

☐ Yes* ☐ No

**If Yes – Number of Pages:* _____

Date Reviewed: _____

Reviewer: _____

Signature: Patricia Alt

Brittany Smith

From: Kurtis Dyck
Sent: June 20, 2025 3:18 PM
To: Brittany Smith
Subject: FW: Circulation for Development Permit 25D 151, Please respond by July 21, 2025
Attachments: 25D 151 Circulation Package.pdf

Afternoon Brittany,

So couple things, this type of construction is not typical and would require an engineer's design.

Division B Article 9.23.1.1. – Limitations

(See Note A-9.23.1.1.)

- 1) This Section applies to constructions where wall, floor and roof planes are generally comprised of lumber frames of small repetitive structural members, or engineered components, and where
 - a) roof and wall planes are clad, sheathed or braced on at least one side,
 - b) the small repetitive structural members are spaced not more than 600 mm o.c.,
 - c) the constructions do not serve as foundations,
 - d) the specified live load on supported subfloors and floor framing does not exceed 2.4 kPa, and
 - e) the span of any structural member does not exceed 12.20 m.

(See Note A-9.23.1.1.(1).)

- 2) Where the conditions in Sentence (1) are exceeded for wood constructions, the design of the framing and fastening shall conform to Subsection 4.3.1.

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: June 20, 2025 10:46 AM
To: Kurtis Dyck <Kurtis.Dyck@FoothillsCountyAB.ca>; land.admin@atco.com; landserv@fortisalberta.com; circulations@telus.com
Cc: Brittany Smith <Brittany.Smith@FoothillsCountyAB.ca>
Subject: Circulation for Development Permit 25D 151, Please respond by July 21, 2025

Good morning,

Find attached our circulation for Development Permit 25D 151. Please review and respond **prior to July 21, 2025.**

Should you have any questions or comments, please direct them to **Brittany Smith** at Brittany.Smith@foothillscountyab.ca.

Regards,

Brittany Smith

From: FC_Planning
Sent: July 8, 2025 9:02 AM
To: Brittany Smith
Subject: FW: [CAUTION] Circulation for Development Permit 25D 151, Please respond by July 21, 2025
Attachments: 25D 151 Circulation Package.pdf

From: Logan Jamieson <Logan.Jamieson@fortisalberta.com> **On Behalf Of** Land Service
Sent: July 8, 2025 9:00 AM
To: FC_Planning <Planning@Foothillscountyab.ca>
Subject: FW: [CAUTION] Circulation for Development Permit 25D 151, Please respond by July 21, 2025

Good morning,

We have no issues with this development. Please contact 310-WIRE for electrical services.

Let me know if you have any questions.

Logan Jamieson | Land Coordinator Student, Land Department

FortisAlberta | 15 Kingsview Rd. SE Airdrie, AB T4A 0A8 | 403-514-4261



We are FortisAlberta. We deliver the electricity that empowers Albertans to succeed. We keep the power on, not just because it's our job, but because we care about the people we serve. We are reliable, honest and dedicated to our work because our employees, customers and communities matter to us.

From: FC_Planning <Planning@Foothillscountyab.ca>
Sent: Friday, June 20, 2025 10:46 AM
To: Kurtis Dyck <Kurtis.Dyck@FoothillsCountyAB.ca>; land.admin@atco.com; Land Service
<landserv@fortisalberta.com>; circulations@telus.com
Cc: Brittany Smith <Brittany.Smith@FoothillsCountyAB.ca>
Subject: [CAUTION] Circulation for Development Permit 25D 151, Please respond by July 21, 2025

THINK BEFORE YOU CLICK:

Before taking any action, please pause and review this message for any **Red Flags** and signs of phishing. If this is a suspicious email, **before you delete it**, use the 'Phish Alert Report' button in Outlook or contact the Service Desk.

Good morning,

Find attached our circulation for Development Permit 25D 151. Please review and respond **prior to July 21, 2025.**

Should you have any questions or comments, please direct them to **Brittany Smith** at Brittany.Smith@foothillscountyab.ca.

Regards,

**Foothills County
Planning & Development**

FC_Planning@foothillscountyab.ca

Foothills County, 309 Macleod Trail S. /Box 5605, High River, AB T1V 1M7

P. (403) 652-2341 | F. (403) 652-7880



W. www.foothillscountyab.ca

[EXTERNAL EMAIL] This email has originated from outside of the Foothills County organization. Do not click on any links or open any attachments unless you recognize the senders Name and Email address.

**FOOTHILLS COUNTY**

309 Macleod Trail, Box 5605

High River, Alberta T1V 1M7

Phone: 403-652-2341

Fax: 403-652-7880

www.FoothillsCountyAB.caplanning@foothillscountyab.ca

July 30, 2025

Jeremy & Joyce Evans

**COPY**

Dear Sir/Madam:

Re: Notice of Decision Re: Development Permit 25D 151
Ptn: NW 34-19-01 W5M; Plan 0812913, Block 2, Lot 3
Relaxation of Setbacks for a Proposed Structure & Existing Structures

The above-noted development permit application has been approved subject to conditions (copy attached) and subject to a 21-day appeal period. The Development Permit may be signed and issued upon completion of the 21-day appeal period; should no appeals be received, and completion of all Pre-Release Conditions (if any).

The County will advertise the approval of this development permit application in two issues of the Western Wheel and circulate to area landowners (according to County records at this time) within the subject quarter section and for one half mile surrounding the subject property. Notices for Development Permit Decisions are also posted on the County website, www.foothillscountyab.ca.

Pursuant to Section 685(2) of the Municipal Government Act, a person affected by this decision has a right of appeal. Notices of Appeal, including payment of the appeal fee are to be received **no later than August 21, 2025**. Notices of Appeal received after the 21-day notification period will be invalid. If you choose to submit an appeal, please use the enclosed 'Notice of Development Appeal' form. We will notify you if we receive appeals from other persons.

The appeal fee will be returned 2 to 3 weeks after the appeal hearing, if there is record that the appellant or someone authorized to act on behalf of the appellant was in attendance at the time of the scheduled appeal hearing.

Should you have any questions, concerns, or require clarification on the appeal process, please contact the undersigned.

NOTE: APPEAL SUBMISSION REQUIREMENTS ARE OUTLINED ON THE ENCLOSED
'NOTICE OF DEVELOPMENT APPEAL' FORM

Yours truly,
FOOTHILLS COUNTY

Brittany Smith
Development Officer

brittany.smith@foothillscountyab.ca
(403) 603-6257

BS/ml
Encl.



FOOTHILLS COUNTY

309 Macleod Trail, Box 5605

High River, Alberta T1V 1M7

Phone: 403-652-2341

Fax: 403-652-7880

www.FoothillsCountyAB.ca

planning@foothillscountyab.ca

July 30, 2025

«MailName»

«AddLine1»

«AddLine2» «AddLine3»

«City», «Prov» «Postal»

Dear Sir/Madam:

TAKE NOTICE that, in accordance with Land Use Bylaw No. 60/2014, a Development Permit application has been approved subject to conditions (attached) and a 21-day appeal period, for a parcel of land that is located within one half mile of your property. The details of the Development Permit application are as follows:

Development Permit Application File#: 25D 151

Legal Description: NW 34-19-01 W5M; Plan 0812913, Block 2, Lot 3

Approval Description: Relaxation of Setbacks for a Proposed Structure & Existing Structures

Applicant/Owner Jeremy & Joyce Evans

Location: Located on the east side of 43 Street W, approximately 200 metres south of 434 avenue W

Pursuant to Section 685(2) of the Municipal Government Act, a person affected by this decision has a right of appeal. Notices of Appeal, including payment of the appeal fee are to be filed with the Subdivision and Development Appeal Board within 21 days from the date of the development permit decision (attached). Notices of Appeal and payment of the appeal fee are to be received **no later than August 21, 2025**. Notices of Appeal received after the 21-day notification period will be invalid.

The form required for the Notice of Development Appeal is available on the Foothills County website. To access the form, please visit the following link: <https://www.foothillscountyab.ca/resources/notice-development-appeal>. For further assistance or if you would like us to email you the form, please contact our Planning and Development Department at **403-652-2341** or via email at Planning@FoothillsCountyAB.ca.

You should not rely on Notices of Appeal filed by other persons as giving you the right to be heard at an appeal hearing, as only the appellant, applicant or authorized representative of either party is guaranteed the opportunity to be heard at an appeal hearing. If you choose to submit an appeal, please complete the '**Notice of Development Appeal**' form found on our website and return the completed form with payment of the required appeal fee to the Subdivision and Development Appeal Board Clerk by email at appeals@FoothillsCountyAB.ca or by fax at 403-652-7880.

The appeal fee will be returned 2 to 3 weeks after the appeal hearing if there is record that the appellant or someone authorized to act on behalf of the appellant was in attendance at the time of the scheduled appeal hearing.

Should you have any questions, concerns, or require clarification on the appeal process, please contact the undersigned.

**NOTE: APPEAL SUBMISSION REQUIREMENTS ARE OUTLINED ON THE
'NOTICE OF DEVELOPMENT APPEAL' FORM**

Yours truly,
FOOTHILLS COUNTY

Original Signed By...

Brittany Smith
Development Officer
Brittany.Smith@foothillscountyab.ca
(403) 603-6257

BS/ml
Encl. – Development Authority Decision



DEVELOPMENT AUTHORITY DECISION

DATE OF DECISION: July 30, 2025

THIS IS NOT A DEVELOPMENT PERMIT OR BUILDING PERMIT. PLEASE REFER TO THE NOTES SECTION BELOW FOR ADDITIONAL INFORMATION.

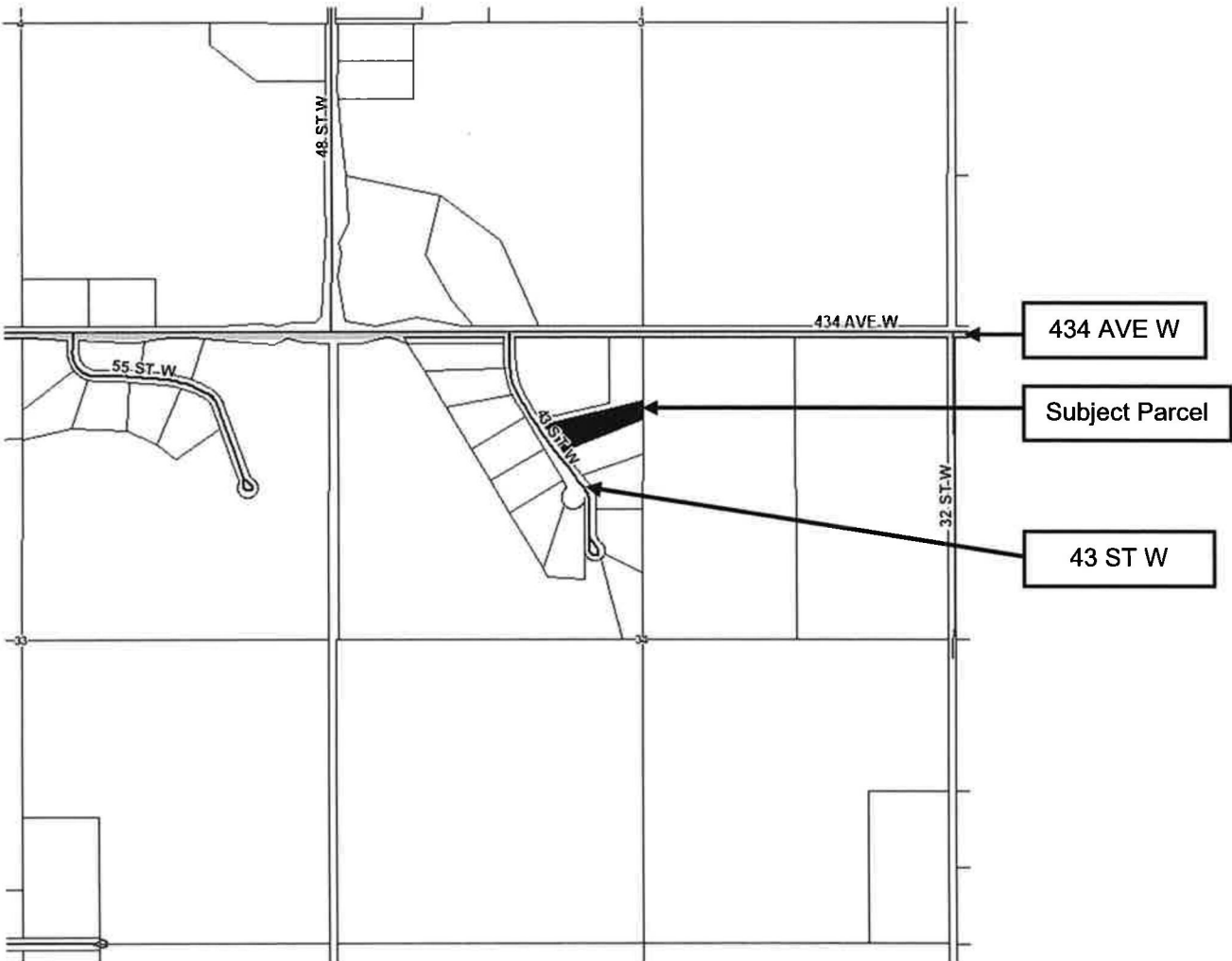
DEVELOPMENT PERMIT APPLICATION FILE NUMBER: 25D 151

LANDOWNER(S): JEREMY & JOYCE EVANS

PROPOSAL DESCRIPTION: RELAXATION OF SETBACKS TO PROPOSED STRUCTURE & EXISTING STRUCTURES

LEGAL DESCRIPTION: PTN: NW 34-19-01 W5M; PLAN 0812913, BLOCK 2, LOT 3

LOCATION: The subject property is a 4.04-acre Country Residential parcel located on the east side of 43 St W, approximately 200 metres south of 434 Ave W.



INTENT OF APPLICATION:

The applicants have submitted a Development Permit application, requesting a relaxation of setbacks to a proposed domed structure to be utilized as a personal use accessory building (greenhouse) on the subject property. The proposed location of the accessory building will not meet Foothills County Setback requirements of 15 metres to the south property line. The applicants are requesting the following relaxation

- The accessory building is proposed to be located 11.25 m (36.91 ft.) from the south property line, when it is required to be setback 15.0 m (49.21 ft.). Therefore, the applicants are seeking a 3.75 m or a 25% relaxation of setbacks for the proposed structure.

Section 5.6.4 and 5.6.5 of the Land Use Bylaw 60/2014 identifies that it is within the discretion of the Development Authority to approve relaxations to a maximum of 25% on proposed structures, provided that the applicants can provide rational as to why the proposed location is the most appropriate location for the proposed structure.

Additionally, the application identifies there are two existing structures that do not meet setback distances of 15 metres to the north property line. The applicants are requesting the following relaxation of setbacks for the existing structures:

- The Shelter (3.01 x 6.05) is located 6.36 m (20.87 ft) from the north property line when the required setback is 15.0 m (49.21 ft). Therefore, the applicants are seeking an 8.64m or 57.6% relaxation;
- The Chicken Coop (1.48 x 2.50) is located 3.19m (10.47 ft) from the north property line when the required setback is 15.0 m (49.21 ft). Therefore, the applicants are seeking an 11.81 m or 78.7% relaxation.

Section 5.6.2 of the Land Use Bylaw 60/2014 identifies that on Country Residential properties; it is within the discretion of the Development officer to allow for a maximum 90% variance for required setbacks with respect to existing development.

The application for a Development Permit in accordance with the provisions of Land Use Bylaw 60/2014 of Foothills County with respect to the relaxation of setbacks to a proposed Accessory Building on Ptn. NW 34-19-01 W5M; Plan 0812913, Block 2, Lot 3 has been considered by the Development Officer and is **APPROVED** subject to the following:

APPROVAL DESCRIPTION:

The proposed Accessory Building (greenhouse) is permitted to be located no closer than 11.25 m (36.91 ft.) from the south property line, as depicted on the accepted site plan.

The existing chicken coop (1.48 x 2.50) is permitted to remain 3.19m from the north property line, and the Shelter (3.01 x 6.05) is permitted to remain 6.36m from the north property line as shown on the real property report dated May 27, 2025 by Absolute Surveys Ltd.

CONDITIONS OF APPROVAL:

Please note that the following requirements must be completed within the twenty-four (24) month completion period for this Development Permit unless a time extension is issued under agreement between the Development Authority and the Applicant(s). Failure to complete the conditions of approval will see the Development Permit be deemed null and void.

1. The applicant shall maintain the development in accordance with all conditions of approval and the application for development permit that has been acknowledged by the municipality to be appropriate. **Any revisions and/or additions to use of this land shall not proceed except under benefit of appropriate approvals and permits;**
2. The applicant is required to obtain all necessary building and safety codes permits and inspections from Foothills County to the discretion of the County's Safety Codes Officer.
3. As the number of accessory buildings exceeds that allowed on a Country Residential Parcel of 4.04 acres, no further buildings are permitted to be placed on the parcel without applying for and obtaining the necessary approvals through the County, this includes any structure with three walls and a roof and those structures placed on temporary foundations.
4. It is the landowners' responsibility to provide written notification to the Development Authority upon completion of the development, as approved herein.

ADVISORY REQUIREMENTS:

The following advisory requirements are provided by Foothills County as a courtesy to the applicant(s) and property owner(s). These comments will not form the basis of the decision to approve the development permit application. They are simply provided for information purposes.

1. The proposed accessory building shall not exceed a maximum height, from grade to peak, of 10.67 meters (35 ft.) which is the maximum permitted within the Country Residential Land Use district;
2. All structures on this parcel are to be used for personal use only and shall not be used in association with any business, or for the purpose of storing business related materials, without first obtaining all necessary approvals from the Foothills County;
3. No portion of the accessory building shall be used as a secondary dwelling unit without first obtaining all necessary approvals from the Foothills County;
4. Development on the property shall at all times comply with the requirements of the Building, Plumbing, Electrical, Safety, and Fire Codes;
5. Natural drainage of the property must be maintained. Alteration to natural drainage may only proceed only under the authorization of an approved Development Permit for Lot Grading permit, or as acknowledged within the required Site Drainage and/or Lot Grading Plan;
6. All installation(s) of exterior lighting must adhere to the guidelines and technical specifications as outlined within the Dark Sky Bylaw;
7. The issuance of a development permit by the County does not relieve the landowners of the responsibility of complying with all other relevant County bylaws and requirements, nor excuse violation of any provincial or federal regulation or act which may affect use of the land;
8. The applicants shall be responsible for payment of any professional costs including legal fees that may be incurred by the County with respect to the implementation of this permit;

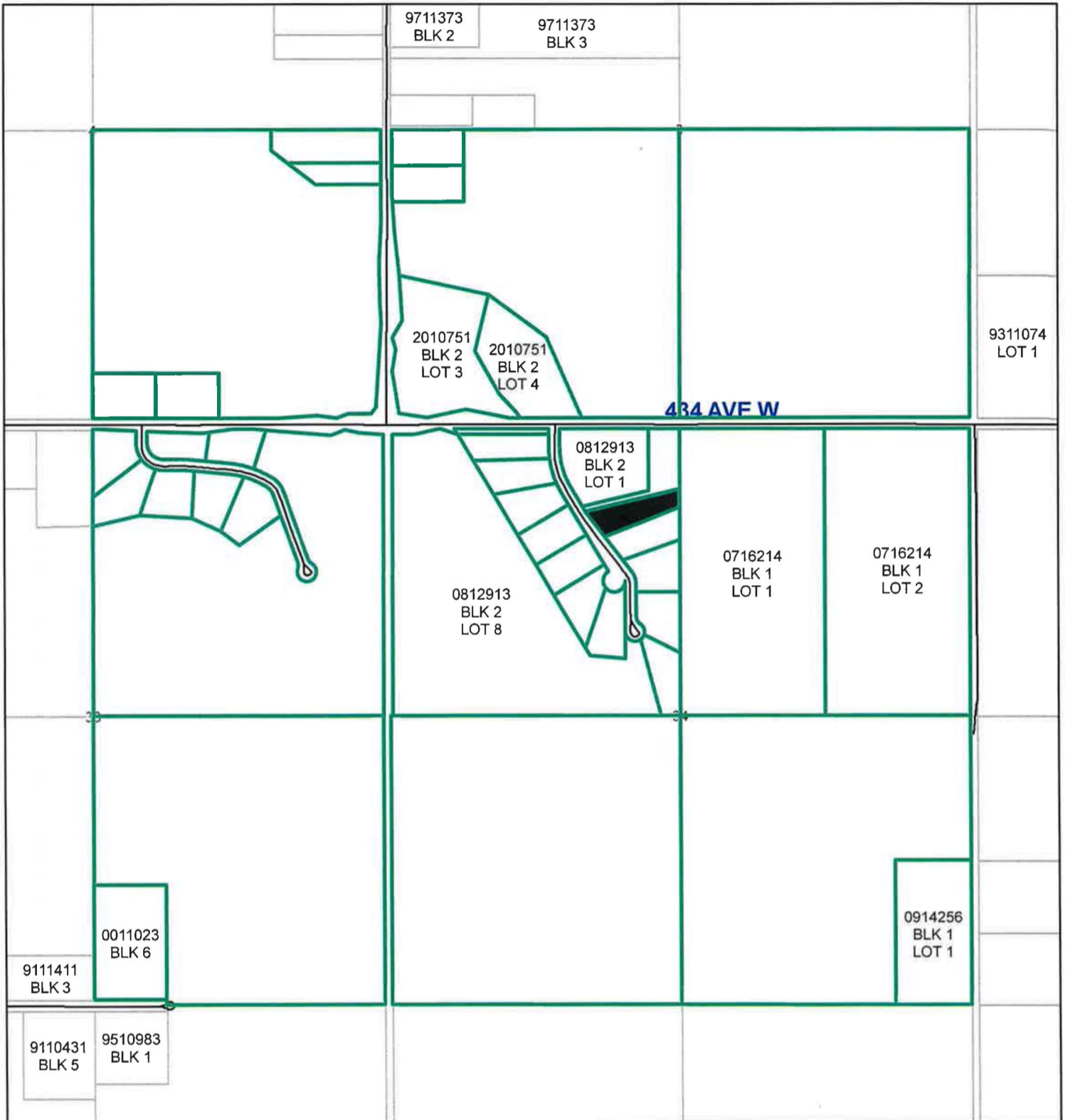
NOTES:

1. **This is not a Building Permit.** Construction practices and standards of construction of any building or any structure authorized by the Development Permit, once signed and issued, must be in accordance with the Building and Safety Codes Permits. An application must be made for all required Building and/or Safety Codes Permits.
2. **This is not a Development Permit.** The Development Permit may be signed and issued upon completion of the 21-day appeal period; should no appeals be received, and completion of all Pre-Release Conditions (if any). Development cannot proceed until this permit has been signed and issued.
3. Notification of this Development Permit Decision will be advertised in two issues of the Western Wheel and circulated to area landowners (according to County Records at this time) within one half mile to the subject parcel. Development Permit Notices can also be viewed on our website, www.foothillscountyab.ca.
4. This Development Permit Decision is subject to a 21-day appeal period. Pursuant to Section 685(2) of the Municipal Government Act, a person affected by this decision has a right of appeal.
5. The Development Permit, once signed and issued, shall thereafter be null and void if the development or use is abandoned for a period of six months.
6. The conditions of this Development Permit Decision must be met and adhered to at all times. Fines and/or Enforcement action may occur if operating outside of the Development Permit Decision.



Half Mile Map

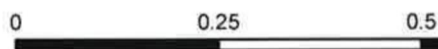
NW 34-19-01 W5M; Plan 0812913, Block 2, Lot 3



Legend

- Roads
- ▭ Parcels
- ▬ Subject Parcel

Date: 2025-07-28

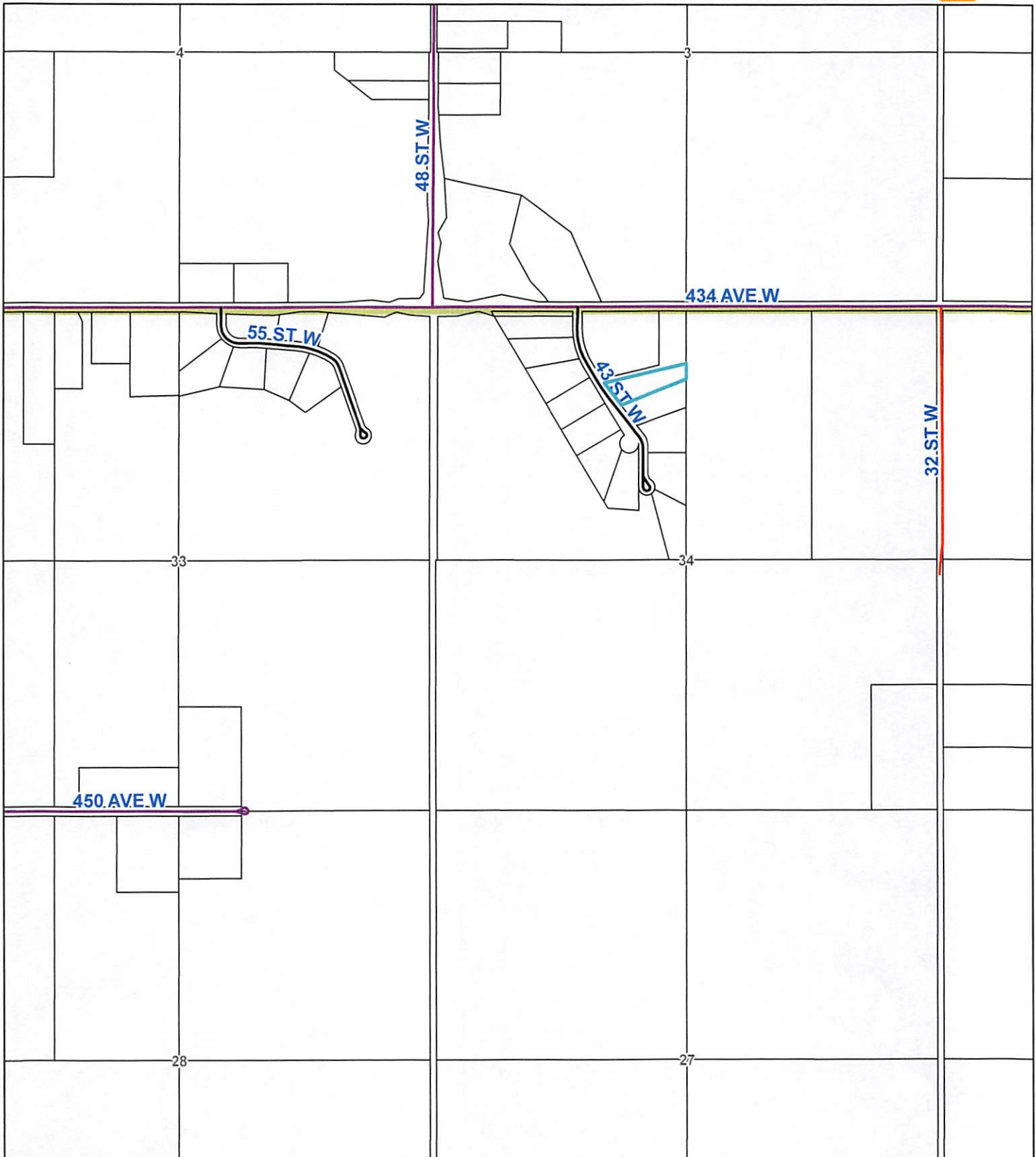


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Data Sources Include Municipal Records and Aerial Imagery. 1 Miles



NW 34-19-1 W5; Plan 0812913, Blk 2, Lot 3



Legend
Townships
Parcels

Date Printed: 2025-06-18

1:17,050

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NW 34-19-1 W5; Plan 0812913, Blk 2, Lot 3



Legend
Townships
Parcels

Date Printed: 2025-06-18

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LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0033 316 605 0812913;2;3 231 361 012

LEGAL DESCRIPTION
PLAN 0812913
BLOCK 2
LOT 3
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 1.634 HECTARES (4.04 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;1;19;34;NW

MUNICIPALITY: FOOTHILLS COUNTY

REFERENCE NUMBER: 181 084 992

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
231 361 012	21/11/2023	TRANSFER OF LAND	\$724,500	\$724,500

OWNERS

JEREMY EVANS

AND

JOYCE EVANS

BOTH OF:

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
751 013 551	17/02/1975	CAVEAT RE : SEE CAVEAT CAVEATOR - CANADIAN WESTERN NATURAL GAS COMPANY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
231 361 012

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

LIMITED.
140 - 6 AVENUE S.W.,
CALGARY
ALBERTA

031 379 257 01/11/2003 UTILITY RIGHT OF WAY
GRANTEE - ATCO GAS AND PIPELINES LTD.

081 210 562 16/06/2008 UTILITY RIGHT OF WAY
GRANTEE - FORTISALBERTA INC.
GRANTEE - TELUS COMMUNICATIONS INC.
GRANTEE - ATCO GAS AND PIPELINES LTD.
AS TO PORTION OR PLAN:0812914

081 210 564 16/06/2008 RESTRICTIVE COVENANT

101 108 124 15/04/2010 AMENDING AGREEMENT
AFFECTS INSTRUMENT: 081210564

231 361 013 21/11/2023 MORTGAGE
MORTGAGEE - BRIDGEWATER BANK.
SUITE 150, 926-5TH AVENUE SW
CALGARY
ALBERTA T2P0N7
ORIGINAL PRINCIPAL AMOUNT: \$507,150

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 18 DAY OF JUNE,
2025 AT 08:42 A.M.

ORDER NUMBER: 54045124

CUSTOMER FILE NUMBER: AS_Planning

END OF CERTIFICATE



(CONTINUED)

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

**ALBERTA GOVERNMENT SERVICES
LAND TITLES OFFICE**

IMAGE OF DOCUMENT REGISTERED AS:

081210564

ORDER NUMBER: 54674325

ADVISORY

This electronic image is a reproduction of the original document registered at the Land Titles Office. Please compare the registration number on this coversheet with that on the attached document to ensure that you have received the correct document. Note that Land Titles Staff are not permitted to interpret the contents of this document.

Please contact the Land Titles Office at (780) 422-7874 if the image of the document is not legible.

RESTRICTIVE COVENANT

Pursuant to Section 48 of the *Land Titles Act* (Alberta)

Made this 10 day of June, 2008
434 AVE.

RECITALS:

- A. **Sweetgrass Land Developments Inc.** is the registered owner of estates in fee simple in possession of those lands and premises situate in the Province of Alberta described as follows:

Plan 081 2913

Block 2

Lots 1, 3 to 8 Inclusive

Excepting Thereout All Mines and Minerals

(Hereinafter referred as the "Lots")

- B. It is considered desirable for the greater enjoyment and proper notification of future owners of the Lots to impose certain restrictions and covenants on the Lots and to establish a building scheme on the Lots. The restrictions and covenants are for the benefit of the existing and future owners of the Lots and will protect the Lots against depreciation by preventing inharmonious use and development.
- C. The covenants, conditions and restrictions are intended to be common to the Lots and bind the Lots for the benefit of the Lots.
- D. Section 68 of the *Land Titles Act* (Alberta) provides that an owner may grant to itself a restrictive covenant for the benefit of the land which it owns and against the land which it owns and the restrictive covenant may be registered under the *Land Titles Act* (Alberta).

THIS RESTRICTIVE COVENANT WITNESSES:

1. The following covenants herein shall be deemed to be covenants running with the Lots and shall be binding on and enure to the benefit of the respective heirs, assigns and successors of the owners of the Lots.
2. The Lots shall be subject to the following covenants, conditions and restrictions:
 - a) **Land Use**- The Lots are to be used solely for single family country residences and as such may not be used for the purpose of any trade or profession unless such business is conducted entirely within the home on the Lot and is approved by the Municipal District of Foothills No. 31 or its successor (hereinafter the "M.D."). Furthermore, no attached or semi-detached dwelling, apartment, or duplex, nor any house designed for more than one family may be constructed on the Lots.
 - b) **Storage on the Lots** - None of the Lots shall be used as a junkyard, auto storage, graveyards, slaughter house, or storage of flammable substance. No Lot shall be used for depositing, dumping, burning or storing of any refuse, trash, garbage, or discarded building material. All rubbish, trash or garbage shall be removed from the Lot, and shall not be allowed to accumulate thereon.
 - c) **Excavation** - Grading, excavation, construction or other works, earned out upon the Lots, shall not interfere with or alter in any way the natural or established drainage system thereon. No grading shall be done which would

cause water retention on any of the Lots or to cause water to drain onto neighboring/adjacent lands. No excavation shall be made on the Lots except for the purpose of constructing foundations for approved and permitted buildings or improvements and shall be restricted to west side of the ravine only. No soil, sand or gravel shall be stored on the Lots nor may it be removed from the Lots except to the extent of permanent surplus arising from approved and permitted development.

No person shall alter the existing natural drainage.

- d) **Construction Activities** - The owner or owners of the Lots (as the case may be) under development shall ensure that reasonable precautions are taken to prevent fires and the accumulation or escape of debris and waste water and for the proper containment of construction and all other waste inside appropriate containers with lids. The owner of any of the Lots under development shall be responsible for and shall indemnify and save harmless other owner(s) of the Lots from any and all damage to roadways, water aquifers and to structures or improvements on either of the Lots.

No outdoor toilets may be erected or maintained on any part of the Lots or property except during construction on the applicable Lot or property.

Structures must have completed exteriors within a one year period from start of construction.

- e) **Types of Construction** - No structures shall be constructed on the Lots unless they are constructed with new materials and built upon permanent foundations.

- f) **Building Sizes** - No dwelling houses shall be built upon the Lots unless the following minimum floor areas are achieved:

Single Story - minimum floor area 1200 square feet

Two Story - minimum floor area 1000 square feet

These measurements exclude basement development and shall be taken from the exterior of the foundation.

Only Lot 8 has a specified allowable building envelope as indicated in attached Schedule 'A' to this document.

- g) **Exterior Finishes**- No finishes other than brick, stone, solid wood, vinyl, metal, hardboard, or stucco, shall be used on all above ground structures on the Lots. No roof coverings other than cedar shakes, clay/concrete tiles, rubber or asphalt shingles will be permitted. The design and finish of all other above ground structures on any of the Lots must match those of the home and must be completely sided and finished throughout.

All flashings, gutters, fascia, and rain water leads must be painted to match the trim colors or pre-finished. All roof vents and stacks must be painted in a matte finish to match roof colors.

No evaporation or air-heating or conditioning unit or tower shall be located on the roof of any structure unless screened by walls or other adequate means in such a manner as to conceal them from the view of neighboring Lots and streets.

- h) **Colors** - No colors other than natural colors or earth tones will be permitted on the exterior of buildings constructed on the Lots. Extreme, bright shades and contrasts such as pink, orange or salmon will not be permitted.

- i) **Lighting** - No exterior lighting on the Lots shall be allowed unless the lighting is directed toward the ground. No exterior lighting shall unreasonably illuminate any adjacent lands.
- j) **Animals** - No animals or livestock are permitted unless they are kept in accordance with the MD Land Use By-Law.
- k) **Garbage** - The Lots shall not be used to deposit, dump, burn or store any refuse or trash.
- l) **Landscaping and Tree Clearing**- Lots will be left in their natural state or be manicured natural or seeded grass. Noxious and Restricted Weeds, as defined in the *Weed Control Act* are to be actively controlled and minimized.
- m) **Radio and Television Antennas and Satellite Receivers** - No radio and television antennas and receivers shall be permitted on the Lots unless they at a height of no greater than four (4) feet above the residence roof line.
- n) **Utilities** - All utilities are to be buried underground. The purchaser shall be responsible for the cost of installing all services and utilities on the Lot within its property lines and for connecting those services and utilities to the services and utilities installed by the Vendor on the lands.

The Vendor has drilled and tested water wells on all lots in accordance with the M.D. of Foothills No. 31 and the Alberta Environment guidelines.

The purchaser shall be responsible for the cost of installing a septic system which is considered to be of today's technology and to be a high efficiency system eg. (bat type system).

- 3. The failure of any party to strictly perform any of the covenants, conditions and Stipulations contained in this agreement shall not of itself constitute a waiver of or abrogate from such covenants) conditions, and stipulations except to the extent expressly provided for in such waiver and shall not constitute a waiver of or abrogate from any other covenants, conditions or stipulations in this agreement.
- 4. The owner or owners of the Lots may, with respect to any breach of the obligations hereby imposed on the owner or owners of the Lots who are in breach, enforce the provisions of this restrictive covenant and may apply to a Court of competent jurisdiction to restrain any breach by injunction. The owner or owners of each of the Lots agree that in the event of an breach or apprehended breach of the covenants set out herein, damages may be difficult or impossible to determine and that specific performance or injunction (mandatory or prohibitive) as appropriate shall be available as remedies to any aggrieved party in addition to any other remedies provided at law, in equity, by statute or otherwise, and each such owner waives the right to and agrees that it shall not assert or plead that a party seeking to enforce the terms of this restrictive covenant has any adequate remedy in damages or at law.
- 5. Where required by the context of this agreement, the singular shall include the Plural and the masculine shall include the feminine as the case may be and vice versa. Should the parties to this agreement and owners of each lot comprising the Lots at any time comprise two or more persons or owners, each such person shall be jointly and severally bound the other or others for the due performance of the obligations contemplated herein.

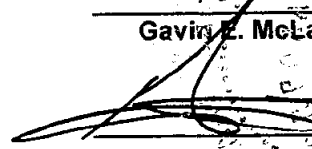
6. The rights, privileges and easements granted herein shall be subject to any restrictions or other provisions contained in any grant, covenant, right-of-way or easement before or afterwards granted for the installation use or operation of any utility within, under, over, or on the Lots or any part of them. The owner of the Lots herein covenants and agrees to provide easements and rights of way for the construction of services and overland drainage, ingress and egress, upon and through the Lots.

The Vendor, its servants and agents, shall retain the right after the Closing Date to enter on the Lot to do such work as may be required so that the Vendor may carry out its obligations.

There are no representations, warranties, or collateral agreements affecting the lands, adjacent lands, the Lot or this agreement other than as contained herein. The Purchaser acknowledges he is aware of the zoning or planned zoning of the development area and the surrounding lands and has inspected the Lot and lands and accepts them in their existing condition at the date of execution. It is the sole responsibility of the Purchaser to ensure adequate installation and maintenance of a septic system and adequate foundations and drainage for any buildings erected thereon.

7. If any provision of this restrictive covenant shall be determined by a court of competent jurisdiction to be invalid and unenforceable to any extent, the remainder of this covenant shall remain in force.
8. This agreement shall be registered on the certificate of title to the Lots.

IN WITNESS WHEREOF **Sweetgrass Land Developments Inc.** have hereunto subscribed their names this 10 day of June, 2008.



Gavin E. McLachlan

(Seal)



081210564

081210564 REGISTERED 2008 06 16
RESC - RESTRICTIVE COVENANT
DOC 8 OF 9 DRR#: B055D38 ADR/PPITMAN

SECTION 13 RESIDENTIAL DISTRICTS

13.1 COUNTRY RESIDENTIAL DISTRICT

CR

13.1.1 PURPOSE AND INTENT

To provide for acreage development consistent with the policies outlined in the Municipal Development Plan.

13.1.2 SUB-DISTRICT

- 13.1.2.1 Parcels may include the following sub-district in cases where Council feels that there is a need. Not all parcels will be separated into sub-districts. Should a parcel include the sub-district, all district rules apply with the addition of the special provisions noted in accordance with the sub-district.
- 13.1.2.2 Sub-district “A” is a designation added to the land use district indicating a requirement for special consideration on the development of the site and/or placement and construction of buildings or structures on the lands through approval of a development permit. Reference Section 2.4 of this Bylaw for more details on special provisions for parcels with sub-district “A”.

13.1.3 GENERAL REQUIREMENTS:

- 13.1.3.1 Refer to Section 4.2 “No Development Permit Required” in the Land Use Bylaw for uses not requiring a development permit.
- 13.1.3.2 Refer to Section 9 and Section 10 respectively for the general and specific land use regulations and provisions that apply to this District.

13.1.4 PERMITTED USES	13.1.5 DISCRETIONARY USES
Accessory buildings not requiring a development permit Accessory uses Agricultural (general) Dwelling, single family Home Based Business Type I Home office Signs not requiring a development permit Solar Power System, Private (Not requiring a Development Permit) Temporary storage of no more than 1 unoccupied recreation vehicles (within Hamlet boundary) Temporary storage of up to 5 unoccupied recreation vehicles (outside a Hamlet boundary) Public works Secondary Suite, Principal Utility services, minor	Accessory buildings requiring a development permit Agricultural intensive – on lots 3 acres or more in size Agricultural specialty Antenna structures, private Arenas, private Bed and Breakfast Day home services Dwelling, moved on Dwelling, temporary Home based business Type II Home based business Type III Intensive vegetation operation Kennels, private Lot grading Manmade water bodies, private Secondary Suites, Detached Signs requiring a Development Permit Solar Power System, Private (Requiring a Development Permit)

13.1.4 PERMITTED USES	13.1.5 DISCRETIONARY USES
	Temporary storage of no more than 2 unoccupied recreation vehicles (within Hamlet boundary)

13.1.6 LAND USE REQUIREMENTS

- 13.1.6.1 A person who wishes to subdivide land in this district into additional lots must first apply for and be granted approval of a land use bylaw amendment.
- 13.1.6.2 In order to facilitate the purpose and intent of this district and ensure the comprehensive development of country residential uses within the District, the following applies to applications for subdivision:
- a. Parcel Density:
 - i. Maximum one lot per 2.02 ha (5 acres) of existing land contained under the same title to a maximum of 32 lots per quarter section.
 - b. Minimum Parcel Size:
 - i. The area in title at the time of passage of this Bylaw; or
 - ii. A parcel of land no less than 0.81 ha (2.0 acres).
 - c. Maximum Parcel size:
 - i. 8.49 ha (20.99 ac); or
 - ii. The area in title at the time of passage of this Bylaw.
- 13.1.6.3 Required Developable Area:
- a. In accordance with Section 9.8 of this Bylaw.
- 13.1.6.4 Utility Servicing Criteria
- a. Individual wells and individual wastewater disposal systems;
 - b. Communal water and communal wastewater disposal systems; or
 - c. A combination of a. and b. as determined by Bylaw amending this section.

13.1.7 DEVELOPMENT REQUIREMENTS

- 13.1.7.1 Maximum Lot Coverage
- a. No building or group of buildings including their accessory buildings and impervious surfaces shall cover more than forty (40) percent of the lot area.
- 13.1.7.2 Maximum Dwelling Unit Density
- a. Maximum dwelling unit density for a parcel under 80 acres is one Dwelling, Single Family and either one Dwelling, Secondary Suite in accordance with Section 10.25, or one Dwelling, Temporary in accordance with Section 10.26 Secondary Suites and Section 10.10.
 - b. Or as determined by the Approving Authority in accordance with an approved Area Structure Plan or Outline Plan.

13.1.7.3 Minimum Yard Setbacks Requirements

- a. Front Yard Setbacks:
 - i. 40m (131.23 ft.) from the ultimate right of way or 70 meters from the centreline of a Provincial highway, whichever is greater;
 - ii. 48m (157.48 ft) from the centreline of a Municipal road;
 - iii. 15m (49.21 ft.) from the right of way of an internal subdivision road.
- b. Side Yard Setbacks:
 - i. 15m (49.21 ft.) from the property line.
- c. Rear Yard Setbacks:
 - i. 15m (49.21 ft.) from the property line.
- d. If the title to a lot is subject to a caveat in respect of a land dedication or an agreement for the acquisition of land for road widening purposes, the dedicated area or area of future road widening shall be considered the future property boundary for which setback distances set out shall apply.
- e. See Section 13.1.8 “Exceptions” for any setbacks exemptions that have been approved by Bylaw.

13.1.7.4 Corner Parcel Restrictions:

- a. In accordance with Section 9.27.9 - 9.27.12.

13.1.7.5 Other Minimum Setback Requirements:

- a. See Section 9.27 “Special Setback Requirements” of this bylaw for additional setback requirements that may apply.

13.1.7.6 Maximum Height of Structures:

- a. Principal buildings, first vehicle garage, and car ports:
 - i. 12m (39.37 ft.)
- b. Accessory buildings and arenas:
 - i. 10.67m (35 ft)
- c. Radio antennas, internet towers and wind turbines:
 - i. 16m (52.49 ft.);

13.1.7.7 Minimum habitable area per dwelling

- a. 100 m² (1,077 sq. ft.)

13.1.8 EXCEPTIONS:

Silvertip:

- 13.1.8.1 Front yard setback: 5m (16.4 ft) from Internal Subdivision Road – Property Line; for those properties registered under Condominium Plan 0010395 (Silvertip) and having an area of less than 1.99 acres;
- 13.1.8.2 Front yard setback: 15m (49.21 ft) from property line adjacent to any Municipal Road; for those properties registered under Condominium Plan 0010395 (Silvertip);

- 13.1.8.3 Side yard setback: 1.5m (4.92 ft) from Property Line; for those properties registered under Condominium Plan 0010395 (Silvertip) and having an area of less than 1.99 acres;
- 13.1.8.4 Rear yard setback: Principal Building - 8m (26.25 ft) from Property Line; for those properties registered under Condominium Plan 0010395 (Silvertip) and having an area of less than 1.99 acres;
- 13.1.8.5 Rear yard setback: Accessory Building - 1m (3.28 ft) from Property Line; for those properties registered under Condominium Plan 0010395 (Silvertip) and having an area of less than 1.99 acres.

Sirroco:

- 13.1.8.6 For the following properties within the Sirroco Area Structure Plan: Plan 1311328, Block 1, Lot 6-9, Plan 1311328, Block 2, Lot 1, and Plan 1311328, Block 3, Lot 1:
- Front yard setback: 5m (16.4 ft.) from the property line;
 - Side yard setback: 1.5m (4.92 ft.) from the property line;
 - Rear yard setback: 8m (26.25 ft.) from the property line for the principle building and 1m (3.28 ft.) from the property line for any accessory building;

Mazzepa:

- 13.1.8.7 For the following properties in Mazeppa:

Plan 7893FT, Block A, S $\frac{1}{2}$ and N $\frac{1}{2}$ (1.38 acres)

Front yard setback:

- 4m (13.12 ft) from the right of way of the municipal road on the west side;
- 15m to the right of way of a municipal road on south side;

Side yard setback: 1.5m (4.92 ft.) from the property line;

Rear yard setback:

- 8m (26.25ft.) from the property line for the principal building;
- 1m (3.28 ft.) from the property line for any accessory building.

Plan 4098EL, Block 1, Lot 2 and Lot 3 & Plan 4098EL Lot 1, (0.35 acres)

Front yard setback: 4m (13.12 ft) from the property line;

Side yard setback: 1.5m (4.92 ft.) from the property line;

Rear yard setback:

- 8m (26.25ft.) from the property line for the principal building;
- 1m (3.28 ft.) from the property line for any accessory building.

Plan 9610255, Lot 4 all within NW 30-19-27-W4 (2.57 acres – 34m strip):

Front yard setback: 15m (49.21 ft) from the property line;

Side yard setback: 1.5m (4.92 ft.) from the property line;

Rear yard setback: 15m (49.21 ft.) from the property line.

NW 30-19-27-W4 (14.06 acres)

Front yard setback: 15m (49.21 ft) from the property line;

- e. Is compatible with surrounding areas in terms of land use (including the use, function, enjoyment, and value of adjacent lots), scale of development, and potential effects on the stability or rehabilitation of the area.
 - f. Is appropriate having regard for geotechnical considerations such as flooding and slope stability.
 - g. Will not cause a negative effect on community services and facilities such as schools, parks, fire protection, and health.
 - h. Any potential adverse effect can be adequately mitigated by conditions; and
 - i. Is consistent with municipal land, right of way or easement requirements.
- 5.5.2 In determining the significance of an adverse effect or nuisance factor, a Development Authority may consider:
- a. The expected magnitude and consequence of the effect or nuisance.
 - b. The expected extent, frequency, and duration of exposure to the effect or nuisance.
 - c. The use and sensitivity of adjacent or nearby sites relative to the effect or nuisance.
 - d. Adherence to relevant environmental legislation or widely recognized performance standards; and
 - e. The reliability and record of the proposed methods, equipment, and techniques in controlling or mitigating detrimental effects or nuisances.
- 5.5.3 A Development Authority may be guided in the exercise of discretion through reference to reports prepared by an accredited professional that justify alternatives to Bylaw requirements.

5.6 VARIANCES

- 5.6.1 The Development Authority may exercise its variance powers, prescribed in Sections 5.6.2 to Section 5.6.13, and approve a development permit for a permitted or discretionary use, with or without conditions, which does not comply with the regulations of this Bylaw, if the Development Authority determines that:
- a. The proposed development would not unduly interfere with the amenities, use, enjoyment, or value of adjacent lots.
 - b. The proposed development would be consistent with the general purpose or character (urban or rural) of the district.
 - c. There are factors unique to the development, use and site (such as the location of existing buildings) which are not generally common to other development and land in the same district, and which would result in unnecessary hardship or practical difficulties for the proposed development to comply with the provisions of this Bylaw; and
 - d. There are mechanisms to mitigate the effect on adjacent lots.
- 5.6.2 The Development Authority may allow a variance on existing development, on any yard setback to a maximum of 90% of the setback required by this Bylaw, with the exception of:
- a. a side yard setback on lands zoned Residential Community District.
 - b. a setback to a Municipal road that would result in development being less than 5m from the ultimate right of way of the Municipal road, Municipal Road, Major, or Internal Subdivision road.

- 5.6.3 The Development Authority may allow with respect to existing development on Residential Community District zoned property, a variance of a side yard setback to a maximum of 25% of the setback required by this Bylaw.
- 5.6.4 The Development Authority may allow with respect to a proposed development, a variance of any yard setback to a maximum of 25% of the setback required by this Bylaw.
- 5.6.5 The variance power given to the Development Authority under Section 5.6.4 of this Bylaw shall not be exercised with respect to a proposed development unless the landowner can demonstrate that the proposed location is the most appropriate site for the proposed development”.
- 5.6.6 The development authority may allow a variance of building height to a maximum of 50% required under this bylaw, with respect to development within the Industrial Districts, Commercial Districts, and the Service District.
 - a. The variance power given to the Development Authority with respect to building height within the Industrial, Commercial and the Service Districts, shall not be exercised unless it has been determined that such a request for variance is integral to the design or operations of the development.
- 5.6.7 A Development Officer may issue a Letter of Compliance where a minor non-compliance exists no greater than 5% in Residential Community District and for Country Estate District parcels 0.80 acres or smaller or 2.5% in all other land use districts, subject to the provisions of section 5.6 “Variances”.
- 5.6.8 Compliance may be granted for structures which are no larger than 1.5 sq. m. (16 sq. ft.) in size and do not exceed 2m (6.5 ft.) in height that are fully contained within the boundaries of the property, which do not meet municipal setbacks.
- 5.6.9 Within two years from the date the updated Secondary Suite provisions adopted under Bylaw 68/2023 (January 31, 2024), the following variances may be considered when applying for approval to bring existing suites into compliance, which were not previously allowed in Foothills County prior to the passing of said bylaw:
 - a. The Development Authority may issue a Development Permit for an existing oversized Secondary Suite if:
 - i. The Secondary Suite existed prior to the date of the adoption of these regulations; and
 - ii. The Secondary Suite is no more than 25% greater than the size permitted under Section 10.26 Secondary Suites; and
 - iii. A Development Permit has been granted approval within two years of the date which Bylaw 68/2023 received third reading on January 31, 2024.
 - b. The Development Authority may issue a Development Permit for reduced building setbacks for a Secondary Suite where:
 - i. the building code, safety code, and fire code requirements can be met (for example side yard setbacks may not be relaxed on smaller parcels due to separation distances of residential buildings with greater than 10 minutes fire department response time).
 - ii. it does not materially interfere with or affect the use, enjoyment, or value of the neighboring properties.

This applies to Secondary Suites on parcels under 2 acres in size and Secondary Suites within hamlet boundaries or Secondary Suite, Detached on other parcels (within hamlet boundaries does not include the hamlets of Heritage Pointe and Priddis Greens).

- 5.6.10 The Development Authority may allow a 10% variance to the maximum size requirements of a new Secondary Suite, where the Development Authority is of the opinion it will not materially interfere with or affect the use, enjoyment, or value of the neighboring properties.
- 5.6.11 The Development Authority may allow up to a 25% variance to the allowable maximum size requirements of a Secondary Suite, where an application has been made for a change in use from an approved Dwelling, Temporary to a Secondary Suite, Detached, in accordance with Section 10.26.
- 5.6.12 The Development Authority may issue a Development Permit for the renewal of a Dwelling, Temporary, in excess of the Maximum Dwelling Density within the applicable land use district, if an approved Development Permit for that Dwelling, Temporary is in place, and is occupied in accordance with the approval, prior to the date of passage of the bylaw amendments adopting the Maximum Dwelling Density, where it is determined that it does not materially interfere with or affect the use, enjoyment, or value of the neighbouring properties.
- 5.6.13 The Development Authority may issue a Development Permit for a Dwelling, Temporary that has been prefabricated, built, or factory constructed before September 2, 2007, if an approved Development Permit for that Dwelling, Temporary is in place and occupied in accordance with that approval, should it have appropriate C.S.A. certification, or an equivalent at the time of placement on the subject parcel, to the satisfaction of the Safety Codes Officer.

5.7 NOTICE OF DECISION

- 5.7.1 A decision on applications for a Development Permit shall:
 - a. Specify the date on which the decision was made and must be given or sent to the applicant on the same day the decision is made.
 - b. All decisions on applications for a Development Permit shall be given in writing and sent by ordinary mail to the applicant.
- 5.7.2 If an application is conditionally approved or refused by the Development Authority, the notice of decision shall contain the conditions imposed as part of the approval or the reasons for the refusal.
- 5.7.3 Notice of decisions on approved applications for development of a discretionary use or permitted use with a variance, shall be sent by ordinary mail to the applicant, and a notice of the development shall be:
 - a. Published in a local newspaper circulating within the Foothills County; or
 - b. Sent by ordinary mail to adjacent landowners; or
 - c. Posted conspicuously on the property.
- 5.7.4 For decisions under Section 5.7.3, the Development Authority may choose to direct mail decisions to properties beyond the adjacent/adjoining properties at their discretion.